Department of Transport and Planning

GPO Box 2392
Melbourne, VIC 3001 Australia
www.dtp.vic.gov.au

Ref: VPP2402817

Community Housing (Vic) Ltd
C/- Laura Dixon
Urbis Ltd
Level 10, 477 Collins Street
MELBOURNE VIC 3000
ldixon@urbis.com.au

Dear Ms Dixon

APPLICATION FOR CONSENT UNDER VPP VPP2402817
2-14 TOBRUK STREET MORWELL VIC 3840

I refer to the above matter submitted to the Minister for Planning on 20/03/2024.

The planning application has been deemed consistent with Clause 52.20 of the Latrobe Planning Scheme and therefore exempt from a planning permit, subject to the conditions below.

A planning permit is not required for the following triggers:

- Clause 32.04-7 (GRZ1) – To construct two or more dwellings on a lot.
- Clause 32.08-7 (GRZ1) – to construct or extend a front fence within 3 metres of a street if the fence is associated with two or more dwellings on a lot and exceeds the maximum height specified in Clause 55.06-2.
-

PRE-COMMENCEMENT CONDITIONS

Prior to the commencement of construction (excluding any early works), the following must be submitted:

1. *A Tree Protection Management Plan (TPMP), setting out how the existing trees will be protected during construction, prepared by a suitably qualified arborist.*

Prior to the commencement of construction (excluding any early works), the applicant must obtain all relevant approvals under local laws.

This consent letter does not represent the approval that may be required by other statutory authorities, including approval from Latrobe City Council under relevant local laws.

APPROVED DOCUMENTS

Concurrent to the conditions above, the development must be undertaken in accordance with the following documents approved under Clause 52.20-3 of the Latrobe Planning Scheme:

- Architectural Drawings prepared by Every One Homes, dated 2 November 2023
- Landscape Plan, prepared by MACA Design Co dated 2 November 2023
- ESD Statement prepared by GIW Environmental Solutions dated 25 January 2024
- Waste Management Plan prepared by One Mile Grid dated 15 January 2024
- Stormwater Report prepared by Water Technology dated 4 December 2023
- Arboricultural Report prepared by Evergreen Tree Consulting dated 10 January 2024
- Ecological Assessment prepared by Beacon Ecological dated October 2023
- Construction Management Plan prepared by Every One Homes, dated 2 November 2023

A copy of the endorsed plans and documents referred to above is enclosed.

ONGOING COMPLIANCE

Please note, under Clause 52.20-3 of the Latrobe Planning Scheme the use and development of land must be carried out in accordance with these plans and documents to the satisfaction of the Minister for Planning.

If you have any questions, please contact me on 8508 1065 or email anne-marie.edgley@delwp.vic.gov.au.

09/05/2024

PROJECT: **Community Housing Ltd**

ADDRESS: **2 Tobruk Street, Morwell VIC**

IMPORTANT NOTES:

PRESENTATION DRAWINGS ARE INDICATIVE ONLY
OF COLOUR, MATERIALS AND FINISHES

REV	DATE	REVISION DESCRIPTION	DRAWN
13	12/02/24	EX. FENCE NOTES REMOVED FROM SITE PLAN / 3m VECHICLE CROSSING NOMINATED SITE PLAN	2BW
12	08/02/24	OVERALL BUILDING HEIGHT TO AHD NOMINATED ON ALL DWELLINGS (ELEVATIONS) / ALL DWELLINGS COMPLY WITH LHA SILVER' NOTE ADDED TO SITE PLAN	2BW
11	15/01/24	ALL TREES TO BE DEMOLISHED NOTED / LANDSCAPING CANOPY TREES IN FRONT SETBACKS AND PROPOSED NATURE STRIPS INDICATIVE TO MATCH LANDSCAPE PLANS	2BW
10	21/12/23	PROPOSED REAR BOUNDARIES BETWEEN UNITS 3-4 & 7-10 HAVE BEEN MOVED 800mm WEST / PARKLAND FOOTPATH ACCESS REVISED / CORNER SPLAY BOUNDARY ON LOT 24 REVISED	2BW
9	05/12/23	PROPOSED ROAD INTERSECTION RADIUS' REVISED AT ALAMEIN AND CHURCHILL ENTRY / ALL FOOTPATHS REVISED TO SUIT / TREE 2 NOW SHOWN AS TO BE REMOVED / LOT 20, 25, 26 & 27 PROPOSED PROPERTY BOUNDARIES MOVED 4.8m WEST / UNITS 3-4 & 11-14 ROTATED TO SUIT NEW ROAD ANGLE / ALL VEHICLE CROSSINGS NOW PERPENDICULAR TO ROADS	2BW
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7	26/10/23	PLANNING COMMENTS ADDRESSED	2BW
6	17/10/23	PLANNERS COMMENTS ADDRESSED / ELEVATIONS ADDED / MATERIALS LEGEND ADDED	2BW
5	03/10/23	UNITS 21 - 24 MIRRORED FOR BETTER SOLAR ORIENTATION / CLIENT COMMENTS ADDED	2BW
4	30/08/23	SHADOW DIAGRAMS ADDED	2BW
3	25/08/23	FEASIBILITY CONCEPT RE-DESIGN / PLANNERS COMMENTS ADDRESSED	2BW
2	24/08/22	INITIAL FEASIBILITY AMENDED	2HB

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Tel: 1300 786 773
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PROPOSAL:
27 No. DWELLING DEVELOPMENT

DRAWING:
COVER SHEET

PROJECT NUMBER:
TBC

PROPERTY ADDRESS:
2 TOBRUK STREET, MORWELL

DATE:
02/11/2023

DRAWN BY:
2BW

SCALE:

CLIENT:
COMMUNITY HOUSING LTD.

SHEET No:
01/12

DESIGN RESPONSE NOTES

2 TOBRUK STREET, MOREWELL VIC

The design approach has been to develop the site with consideration to key design principles as well as careful consideration to the local
context and planning requirements. The approach towards the site looks to create a generous ratio of private open space and green spaces to built form while ensuring respectful interfaces to the existing and neighbouring residential.

Our site response can be demonstrated in the following key principles:

Contextual Development:
The 27 proposed dwellings on the 13929m2 site, Presents a medium to low density response and provides a comparative residential frontage to Tobruk Street, Alamein Street and Churchill Street. Density of dwellings has not been pushed to ensure it does not overwhelm existing infrastructure. The building materials, facade, scale & aesthetics provide a contemporary feel that complements the neighbourhood character.

Neighbourliness:
The proposal provides side and rear setbacks to existing boundaries consistent with ResCode requirements with more generous setbacks proposed where possible. A minimum of 1.8m high fences are provided between subdivided lots and abutting site boundaries.

Sense of Place:
Dwellings proposed are designed with contemporary expectations
and seek to provide an enhanced building interface to local streets with variations of product types, façade elevations and form. Carefully selected materials will ensure dwellings integrate and compliment the street interface.

Community:
Generous setbacks from the front of the dwellings ensure compliance with the 52.20 requirements while also providing opportunities for landscaping and space for resident interaction with neighbours.

Active Transport:
The proposed development considers its integration with local amenity providing a suitable proposal within close proximity to signifiant social, commercial, industrial infrastructure and public transportation while also ensuring each dwelling provides car parking aligned with planning requirements. Distances to such can be found in legend below.

Familiarity:
The surrounding streetscapes present predominantly single storey dwellings with the proposed massing responding accordingly. Building heights and setbacks are sensitive to the existing neighbourhood character and contributes to a well-articulated facade & visually aesthetic street presence through single storey built form.

Liveable Homes:
All dwellings incorporate energy efficient design practices achieving 7 star NatHERS energy rating through the use of double glazing, low e- glass, insulation upgrades and passive design principles such as extended eaves, orienting living spaces and windows to north where practically possible. Generous private open space and well defined SPOS provide abundant landscaping opportunity to include screen planting and larger canopy trees.

Safe Streets:
Where possible, front door entries are orientated towards the street boundary with sensor lighting incorporated within portico and parking bays. Privacy is gained by the utilisation of obscure glazing & screening (where applicable) with appropriately situated and sized windows.

Adaptability:
The housing products support occupants with a variety of needs with consideration to aging in place & improved livability through LHA adherence. All designs and siting achieve a minimum LHA silver.

Diversity:
Dwelling diversity is ensured through the variation of design, materials and housing typologies.

AMENITIES LOCATIONS:

(DISTANCES ASSUMED FROM CENTRE OF SITE)

- PHARMACY - 300M
- POST OFFICE - 300M
- PRESCHOOL / EARLY LEARNING CENTRE - 350M
- BUS STOP - 450M
- PRIMARY SCHOOL - 550M
- RONALD RESERVE - 600M
- PRIMARY SCHOOL - 1.4KM
- WOOLWORTHS / SHOPPING CENTRE - 1.6KM
- MEDICAL CENTRE - 1.8KM
- MEDICAL CENTRE - 2.2KM
- GROCERY - 2.2KM
- MOREWELL RAILWAY STATION - 2.3KM
- KURNAI COLLEGE - 2.4KM
- MOREWELL TOWN CENTRE / SHOPPING - 2.5KM
- PRIVATE HOSPITAL - 2.8KM

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27 No. DWELLING DEVELOPMENT

DRAWING:
DESIGN RESPONSE

PROJECT NUMBER:
TBC

DATE:
02/11/2023

DRAWN BY:
2BW

SCALE:

PROPERTY ADDRESS:
2 TOBRUK STREET, MORWELL

CLIENT:
COMMUNITY HOUSING LTD.

SHEET No:
02/12

PROPERTY SCHEDULE

LOT No.	PROPOSED LOT AREA	BUILDING NAME	FACADE	BUILDING AREA	SITE COVERAGE: PROPOSED LOT
01	393 m²	MILFORD 9	ACCESS	105 m²	27%
02	427 m²	MILFORD 9	YALE	105 m²	24%
03	323 m²	ARGYLE 13	ACCESS	114 m²	35%
04	294 m²	LUCAS 12	ACCESS	139 m²	47%
05	291 m²	ARGYLE 13	ACCESS	114 m²	39%
06	270 m²	LUCAS 12	ACCESS	139 m²	51%
07	286 m²	LUCAS 12	ACCESS	114 m²	40%
08	286 m²	LUCAS 12	YALE	114 m²	40%
09	285 m²	LUCAS 12	ACCESS	114 m²	40%
10	285 m²	LUCAS 12	YALE	114 m²	40%
11	288 m²	ARGYLE 13	ACCESS	139 m²	48%
12	272 m²	LUCAS 12	ACCESS	114 m²	42%
13	288 m²	ARGYLE 13	ACCESS	139 m²	48%
14	286 m²	LUCAS 12	ACCESS	114 m²	40%
15	323 m²	MILFORD 10	YALE	127 m²	39%
16	334 m²	MILFORD 10	ACCESS	127 m²	38%
17	339 m²	MILFORD 10	YALE	127 m²	37%
18	344 m²	MILFORD 10	ACCESS	127 m²	37%
19	314 m²	MILFORD 9	YALE	105 m²	33%
20	305 m²	MILFORD 9	ACCESS	105 m²	34%
21	339 m²	MILFORD 9	YALE	105 m²	31%
22	339 m²	MILFORD 9	ACCESS	105 m²	31%
23	339 m²	MILFORD 9	YALE	105 m²	31%
24	339 m²	MILFORD 9	ACCESS	105 m²	31%
25	437 m²	MILFORD 10	YALE	127 m²	29%
26	414 m²	MILFORD 10	ACCESS	127 m²	31%
27	410 m²	MILFORD 9	YALE	105 m²	25%
OVERALL BUILDING AREA:				3167 m²	OVERALL SITE COVERAGE
OVERALL SITE AREA:				13929 m²	23%

LANDSCAPING AREAS		
CONCRETE DRIVEWAY	887 m²	
CONCRETE PATH	612 m²	
LANDSCAPING	7069 m²	
PERMEABLE PAVING	676 m²	
ROAD	1432 m²	
GARDEN AREA:	7531 m²	54%
TOTAL PERMEABLE AREA:	7746 m²	56%

LEGEND

- PROPOSED RETAINING WALL
- CONCRETE DRIVEWAY / PATH
- PERMEABLE PAVING
- PROPOSED ROAD
- PROPOSED PARKLAND
- TREE PROTECTION ZONE
- TREE TO BE REMOVED
- EXISTING TREE
- PROPOSED LANDSCAPING SHRUB / TREE

NOTE:
ALL DWELLINGS WILL COMPLY WITH LHA SILVER DESIGN GUIDLINES
REFER ALSO TO DETAILED PLANS ON SHEET 09-12

IMPORTANT NOTES:

- All trees numbered as per Evergreen Preliminary Tree Survey report Version 1: dated 10/08/2023
- Permit may be required to remove Trees: 22, 25 & 26
- Proposed levels subject to civil design
- Do not scale drawings, dimensions will take precedence. Confirm all dimensions prior to any ordering, shop drawings & any commencement of works.
- All dimensions must be verified on site.
- All proposed landscaping trees and shrubs are shown as indicative only. Please refer to detailed Landscape drawing set by MACA Design Co.

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PROPOSAL:
27 No. DWELLING DEVELOPMENT

DRAWING:
GROUND FLOOR/ SITE PLAN

PROJECT NUMBER: TBC

PROPERTY ADDRESS: 2 TOBRUK STREET, MORWELL

DATE: 02/11/2023

DRAWN BY: 2BW

SCALE: Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. **If in doubt, ASK.** SCALE: 1:300 A1

CLIENT: **COMMUNITY HOUSING LTD.**

SHEET No: 03/12

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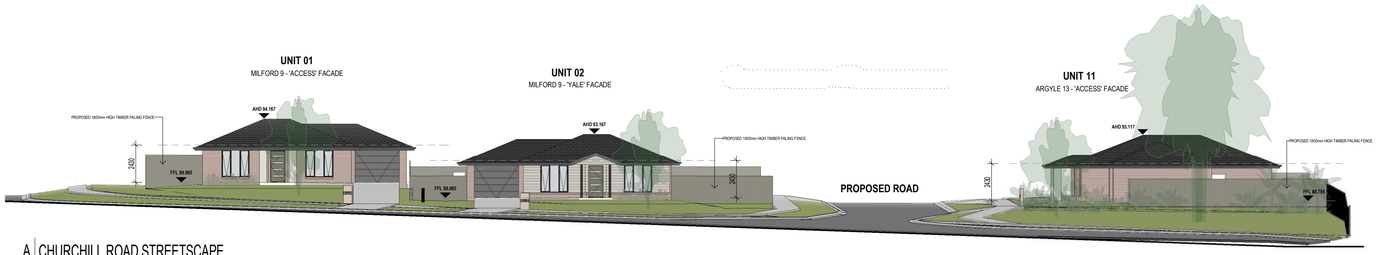
Version: 1, Version Date: 15/05/2024



A | CHURCHILL ROAD STREETSCAPE
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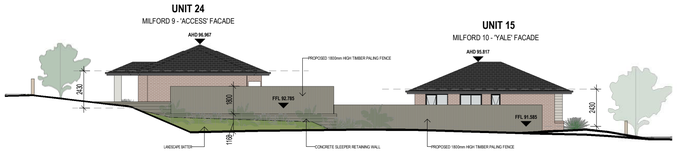

H | PROPOSED PARKLAND - UNITS 24 & 15
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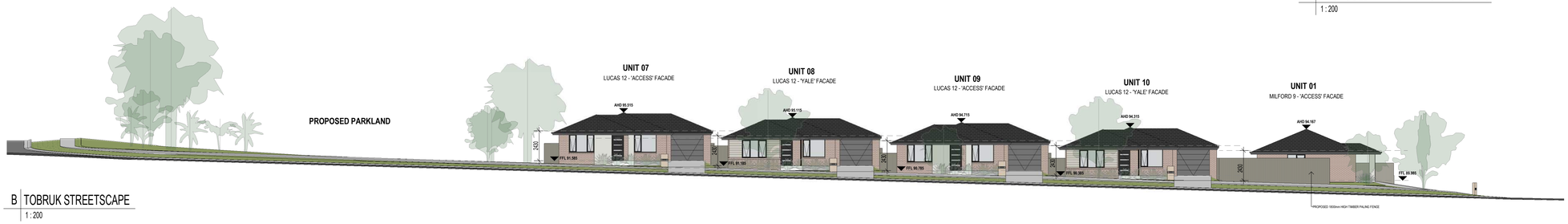

B | TOBRUK STREETSCAPE
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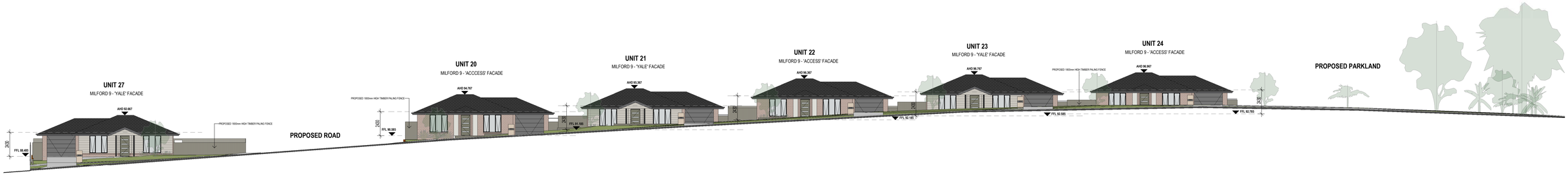

C | ALAMEIN STREETSCPAE
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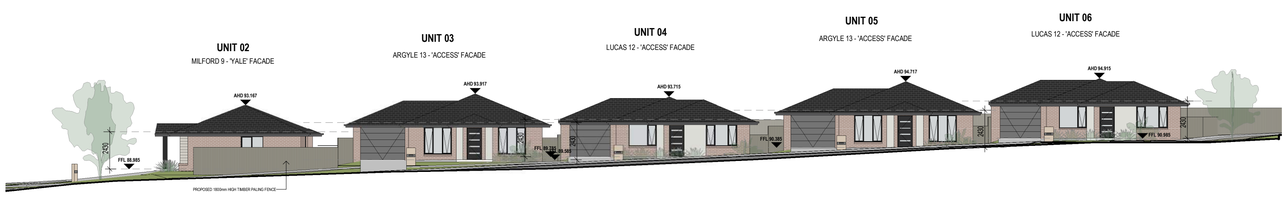

D | PROPOSED ROAD - UNITS 2 - 6
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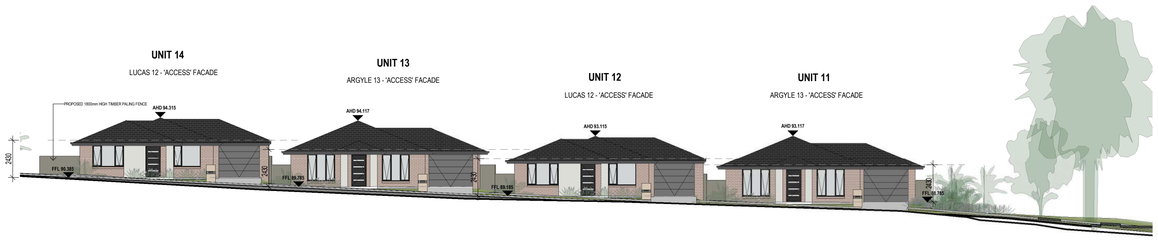

E | PROPOSED ROAD - UNITS 11 - 14
1 : 200

F | PROPOSED ROAD - UNITS 15 - 19
1 : 200

G | PROPOSED ROAD - UNITS 27 - 25
1 : 200

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DRAWING:
ELEVATIONS

PROJECT NUMBER:
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2 TOBRUK STREET, MORWELL

DATE:
02/11/2023

DRAWN BY:
2BW

SCALE:

CLIENT:
COMMUNITY HOUSING LTD.

SHEET No:
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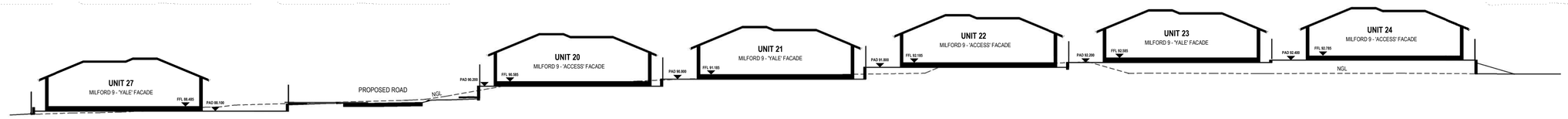

1 SECTION THROUGH UNITS 27 & 20 - 24

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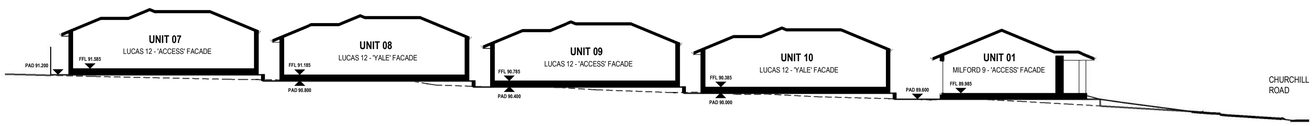

2 SECTION THROUGH UNITS 7 - 10 & 1

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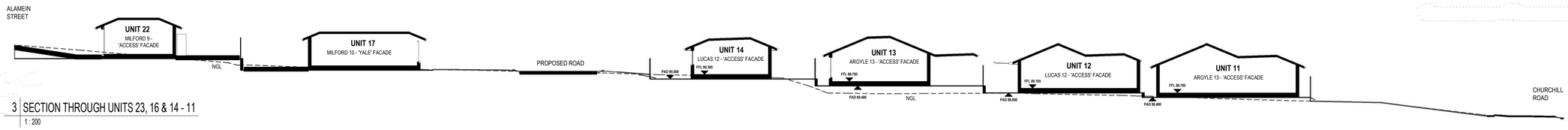

3 SECTION THROUGH UNITS 23, 16 & 14 - 11

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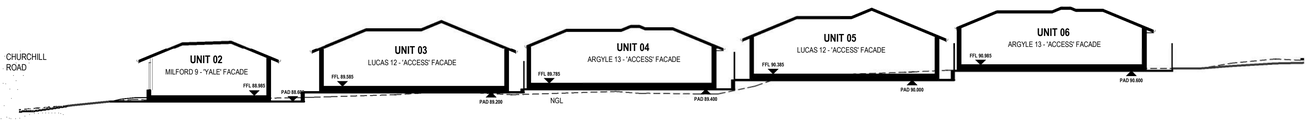

4 SECTION THROUGH UNITS 2 - 6

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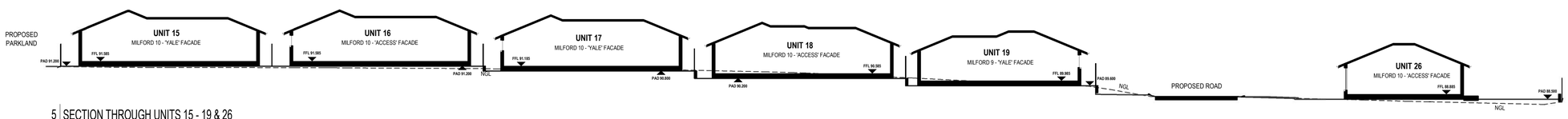

5 SECTION THROUGH UNITS 15 - 19 & 26

1 : 200

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7	26/10/23	PLANNING COMMENTS ADDESSED	2BW
6	17/10/23	PLANNERS COMMENTS ADDRESSED / ELEVATIONS ADDED / MATERIALS LEGEND ADDED	2BW
5	03/10/23	UNITS 21 - 24 MIRRORED FOR BETTER SOLAR ORIENTATION / CLIENT COMMENTS ADDED	2BW
4	30/08/23	SHADOW DIAGRAMS ADDED	2BW
3	25/08/23	FEASIBILITY CONCEPT RE-DESIGN / PLANNERS COMMENTS ADDRESSED	2BW
2	26/08/22	INITIAL FEASIBILITY AMENDED	2HB

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PROPOSAL:
27 No. DWELLING DEVELOPMENT

DRAWING:
SITE SECTIONS

PROJECT NUMBER:
TBC

PROPERTY ADDRESS:
2 TOBRUK STREET, MORWELL

DATE:
02/11/2023

DRAWN BY:
2BW

SCALE:

CLIENT:
COMMUNITY HOUSING LTD.

SHEET No:
05/12

IMPORTANT NOTES:

REV	DATE	REVISION DESCRIPTION	DRAWN
13	12/02/24	EK: FENCE NOTES REMOVED FROM SITE PLAN / 3m VEICHICLE CROSSING NOMINATED SITE PLAN	2BW
12	08/02/24	OVERALL BUILDING HEIGHT TO AHD NOMINATED ON ALL DWELLINGS (ELEVATIONS) / ALL DWELLINGS COMPLY WITH LHA SILVER' NOTE ADDED TO SITE PLAN	2BW
11	15/01/24	ALL TREES TO BE DEMOLISHED NOTED / LANDSCAPING CANOPY TREES IN FRONT SETBACKS AND PROPOSED NATURE STRIPS INDICATIVE TO MATCH LANDSCAPE PLANS	2BW
10	21/12/23	PROPOSED REAR BOUNDARIES BETWEEN UNITS 3-4 & 7-10 HAVE BEEN MOVED 800mm WEST / PARKLAND FOOTPATH ACCESS REVISED / CORNER SPLAY BOUNDARY ON LOT 24 REVISED	2BW
9	05/12/23	PROPOSED ROAD INTERSECTION RADIUS' REVISED AT ALAMEIN AND CHURCHILL ENTRY / ALL FOOTPATHS REVISED TO SUIT / TREE 2 NOW SHOWN AS TO BE REMOVED / LOT 20, 25, 26 & 27 PROPOSED PROPERTY BOUNDARIES MOVED 4.8m WEST / UNITS 3-4 & 11-14 ROTATED TO SUIT NEW ROAD ANGLE / ALL VEHICLE CROSSINGS NOW PERPENDICULAR TO ROADS	2BW
8	02/11/23	SITE LEGEND REVISED / CLOTHESLINES NOTED / SHED SIZE NOTED / P.O.S. REVISED TO S.P.O.S.	2BW
7	26/10/23	PLANNING COMMENTS ADDESSED	2BW
6	17/10/23	PLANNERS COMMENTS ADDRESSED / ELEVATIONS ADDED / MATERIALS LEGEND ADDED	2BW
5	03/10/23	UNITS 21 - 24 MIRRORED FOR BETTER SOLAR ORIENTATION / CLIENT COMMENTS ADDED	2BW
4	30/08/23	SHADOW DIAGRAMS ADDED	2BW
3	25/08/23	FEASIBILITY CONCEPT RE-DESIGN / PLANNERS COMMENTS ADDRESSED	2BW
2	26/06/22	INITIAL FEASIBILITY AMENDED	2HB

NORTH

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www.metriconhomes.com.au

PROPOSAL:
27 No. DWELLING DEVELOPMENT

DRAWING:
ROOF PLAN / SHADOW DIAGRAM 9AM - 22 SEPT

PROJECT NUMBER:
TBC

PROPERTY ADDRESS:
2 TOBRUK STREET, MORWELL

DATE:
02/11/2023

DRAWN BY:
2BW

SCALE:
Do NOT scale this drawing.
All written dimensions take precedence over scaled dimension. **If in doubt, ASK.**
SCALE: 1:300 A1

CLIENT:
COMMUNITY HOUSING LTD.

SHEET No:
06/12

IMPORTANT NOTES:

REV	DATE	REVISION DESCRIPTION	DRAWN
13	12/02/24	EX. FENCE NOTES REMOVED FROM SITE PLAN / 3m VECHICLE CROSSING NOMINATED SITE PLAN	2BW
12	08/02/24	OVERALL BUILDING HEIGHT TO AHD NOMINATED ON ALL DWELLINGS (ELEVATIONS) / ALL DWELLINGS COMPLY WITH LHA SILVER' NOTE ADDED TO SITE PLAN	2BW
11	15/01/24	ALL TREES TO BE DEMOLISHED NOTED / LANDSCAPING CANOPY TREES IN FRONT SETBACKS AND PROPOSED NATURE STRIPS INDICATIVE TO MATCH LANDSCAPE PLANS.	2BW
10	21/12/23	PROPOSED REAR BOUNDARIES BETWEEN UNITS 3-4 & 7-10 HAVE BEEN MOVED 800mm WEST / PARKLAND FOOTPATH ACCESS REVISED / CORNER SPLAY BOUNDARY ON LOT 24 REVISED	2BW
9	05/12/23	PROPOSED ROAD INTERSECTION RADIUS' REVISED AT ALAMEIN AND CHURCHILL ENTRY / ALL FOOTPATHS REVISED TO SUIT / TREE 2 NOW SHOWN AS TO BE REMOVED / LOT 20, 25, 26 & 27 PROPOSED PROPERTY BOUNDARIES MOVED 4.8m WEST / UNITS 3-4 & 11-14 ROTATED TO SUIT NEW ROAD ANGLE / ALL VEHICLE CROSSINGS NOW PERPENDICULAR TO ROADS	2BW
8	02/11/23	SITE LEGEND REVISED / CLOTHESLINES NOTED / SHED SIZE NOTED / P.O.S. REVISED TO S.P.O.S.	2BW
7	26/10/23	PLANNING COMMENTS ADDESSED	2BW
6	17/10/23	PLANNERS COMAMENTS ADDRESSED / ELEVATIONS ADDED / MATERIALS LEGEND ADDED	2BW
5	03/10/23	UNITS 21 - 24 MIRRORED FOR BETTER SOLAR ORIENTATION / CLIENT COMMENTS ADDED	2BW
4	30/08/23	SHADOW DIAGRAMS ADDED	2BW
3	25/08/23	FEASIBILITY CONCEPT RE-DESIGN / PLANNERS COMMENTS ADDRESSED	2BW
2	26/08/22	INITIAL FEASIBILITY AMENDED	2HB

NORTH

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PROPOSAL:
27 No. DWELLING DEVELOPMENT

DRAWING:
ROOF PLAN / SHADOW DIAGRAM 12PM - 22 SEPT

PROJECT NUMBER: TBC

PROPERTY ADDRESS: 2 TOBRUK STREET, MORWELL

DATE: 02/11/2023

DRAWN BY: 2BW

SCALE:
Do NOT scale this drawing.
All written dimensions take precedence over scaled dimension. **If in doubt, ASK.**
SCALE: 1:300 A1

CLIENT: **COMMUNITY HOUSING LTD.**

SHEET No: 07/12

IMPORTANT NOTES:

REV	DATE	REVISION DESCRIPTION	DRAWN
13	12/02/24	EX. FENCE NOTES REMOVED FROM SITE PLAN / 3m VECHICLE CROSSING NOMINATED SITE PLAN	2BW
12	08/02/24	OVERALL BUILDING HEIGHT TO AHD NOMINATED ON ALL DWELLINGS (ELEVATIONS) / ALL DWELLINGS COMPLY WITH LHA SILVER' NOTE ADDED TO SITE PLAN	2BW
11	15/01/24	ALL TREES TO BE DEMOLISHED NOTED / LANDSCAPING CANOPY TREES IN FRONT SETBACKS AND PROPOSED NATURE STRIPS INDICATIVE TO MATCH LANDSCAPE PLANS	2BW
10	21/12/23	PROPOSED REAR BOUNDARIES BETWEEN UNITS 3-4 & 7-10 HAVE BEEN MOVED 800mm WEST / PARKLAND FOOTPATH ACCESS REVISED / CORNER SPLAY BOUNDARY ON LOT 24 REVISED	2BW
9	05/12/23	PROPOSED ROAD INTERSECTION RADIUS' REVISED AT ALAMEIN AND CHURCHILL ENTRY / ALL FOOTPATHS REVISED TO SUIT / TREE 2 NOW SHOWN AS TO BE REMOVED / LOT 20, 25, 26 & 27 PROPOSED PROPERTY BOUNDARIES MOVED 4.8m WEST / UNITS 3-4 & 11-14 ROTATED TO SUIT NEW ROAD ANGLE / ALL VEHICLE CROSSINGS NOW PERPENDICULAR TO ROADS	2BW
8	02/11/23	SITE LEGEND REVISED / CLOTHESLINES NOTED / SHED SIZE NOTED / P.O.S. REVISED TO S.P.O.S.	2BW
7	26/10/23	PLANNING COMMENTS ADDESSED	2BW
6	17/10/23	PLANNERS COMMENTS ADDRESSED / ELEVATIONS ADDED / MATERIALS LEGEND ADDED	2BW
5	03/10/23	UNITS 21 - 24 MIRRORED FOR BETTER SOLAR ORIENTATION / CLIENT COMMENTS ADDED	2BW
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3	25/08/23	FEASIBILITY CONCEPT RE-DESIGN / PLANNERS COMMENTS ADDRESSED	2BW
2	26/06/22	INITIAL FEASIBILITY AMENDED	2HB

NORTH

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PROPOSAL:
27 No. DWELLING DEVELOPMENT

DRAWING:
ROOF PLAN / SHADOW DIAGRAM 3PM - 22 SEPT

PROJECT NUMBER:
TBC

PROPERTY ADDRESS:
2 TOBRUK STREET, MORWELL

DATE:
02/11/2023

DRAWN BY:
2BW

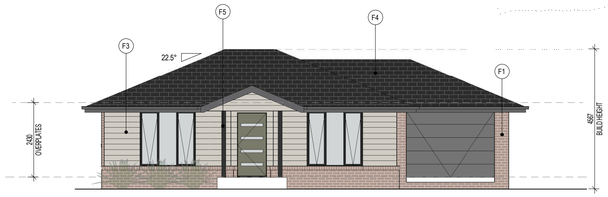
SCALE:
Do NOT scale this drawing.
All written dimensions take precedence over scaled dimension. **If in doubt, ASK.**
SCALE: 1:300 A1

CLIENT:
COMMUNITY HOUSING LTD.

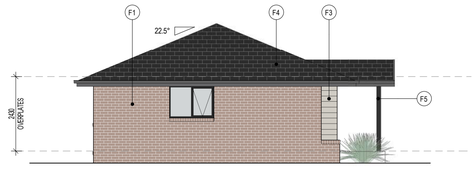
SHEET No:
08/12

1 | MILFORD 9 'YALE' FACADE - FLOOR PLAN
1 : 100

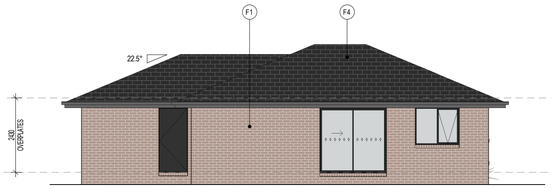
MILFORD 9 - YALE	
NAME	m2
GROUND FLOOR	76.78 m²
GARAGE	24.13 m²
PORTICO	3.70 m²
TOTAL	104.60 m²



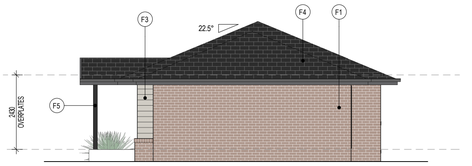
1A | MILFORD 9 'YALE' FACADE - FRONT
1 : 100



1B | MILFORD 9 'YALE' FACADE - SIDE
1 : 100



1C | MILFORD 9 ' YALE' FACADE - REAR
1 : 100



1D | MILFORD 9 'YALE' FACADE - SIDE 2
1 : 100

MATERIALS LEGEND

EXTERNAL FINISHES:

- F1 FACE BRICKWORK
- F2 RENDERED BRICKWORK
- F3 FC ' LINEA CLADDING
- F4 CONCRETE ROOF TILES
- F5 TIMBER POST

COLOUR SCHEME 1:

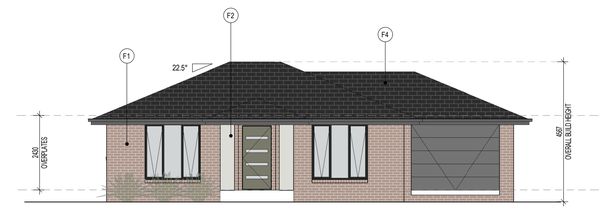
- BRICKWORK - AUSTRAL OASIS
- RENDER & EXTERNAL PAINTED SURFACES - DULUX PAVING STONE
- PAINTED FC ' LINEA CLADDING - DULUX PAVING STONE
- ROOF TILES - CURVED PROFILE SMOKE

COLOUR SCHEME 2:

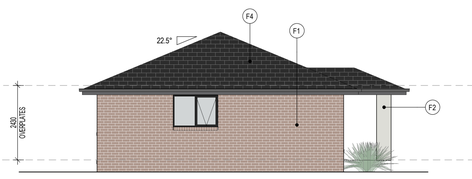
- BRICKWORK - PGH KURRAJONG
- RENDER & EXTERNAL PAINTED SURFACES - DULUX KAHLUA MILK
- PAINTED FC ' LINEA CLADDING - DULUX KAHLUA MILK
- ROOF TILES - CURVED PROFILE SMOKE

2 | MILFORD 9 'ACCESS' FACADE - FLOOR PLAN
1 : 100

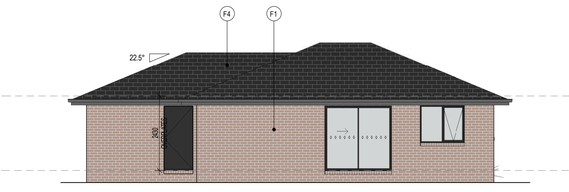
MILFORD 9 - ACCESS	
NAME	m2
GROUND FLOOR	76.78 m²
GARAGE	24.13 m²
PORTICO	4.02 m²
TOTAL	104.93 m²



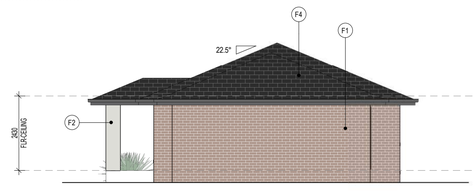
2A | MILFORD 9 'ACCESS' FACADE - FRONT
1 : 100



2B | MILFORD 9 'ACCESS' FACADE - SIDE
1 : 100



2C | MILFORD 9 'ACCESS' FACADE - REAR
1 : 100



2D | MILFORD 9 'ACCESS' FACADE - SIDE 2
1 : 100

IMPORTANT NOTES:

REV	DATE	REVISION DESCRIPTION	DRAWN
13	12/02/24	EX. FENCE NOTES REMOVED FROM SITE PLAN / 3m VECHICLE CROSSING NOMINATED SITE PLAN	2BW
12	08/02/24	OVERALL BUILDING HEIGHT TO AHD NOMINATED ON ALL DWELLINGS (ELEVATIONS) / ALL DWELLINGS COMPLY WITH LHA SILVER' NOTE ADDED TO SITE PLAN	2BW
11	15/01/24	ALL TREES TO BE DENOUSHED NOTED / LANDSCAPING CANOPY TREES IN FRONT SETBACKS AND PROPOSED NATURE STRIPS INDICATIVE TO MATCH LANDSCAPE PLANS	2BW
10	21/12/23	PROPOSED REAR BOUNDARIES BETWEEN UNITS 3-4 & 7-10 HAVE BEEN MOVED 800mm WEST / PARKLAND FOOTPATH ACCESS REVISED / CORNER SPLAY BOUNDARY ON LOT 24 REVISED	2BW
9	05/12/23	PROPOSED ROAD INTERSECTION RADIUS' REVISED AT ALAMEIN AND CHURCHILL ENTRY / ALL FOOTPATHS REVISED TO SUIT / TREE 2 NOW SHOWN AS TO BE REMOVED / LOT 20, 25, 26 & 27 PROPOSED PROPERTY BOUNDARIES MOVED 4.8m WEST / UNITS 3-4 & 11-14 ROTATED TO SUIT NEW ROAD ANGLE / ALL VEHICLE CROSSINGS NOW PERPENDICULAR TO ROADS	2BW
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7	26/10/23	PLANNING COMMENTS ADDRESSED	2BW
6	17/10/23	PLANNERS COMMENTS ADDRESSED / ELEVATIONS ADDED / MATERIALS LEGEND ADDED	2BW
5	03/10/23	UNITS 21 - 24 MIRRORED FOR BETTER SOLAR ORIENTATION / CLIENT COMMENTS ADDED	2BW
4	30/08/23	SHADOW DIAGRAMS ADDED	2BW
3	25/08/23	FEASIBILITY CONCEPT RE-DESIGN / PLANNERS COMMENTS ADDRESSED	2BW
2	26/06/22	INITIAL FEASIBILITY AMENDED	2HB

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PROPOSAL:
27 No. DWELLING DEVELOPMENT

DRAWING: **MILFORD 9**

PROJECT NUMBER: TBC

PROPERTY ADDRESS: 2 TOBRUK STREET, MORWELL

DATE: 02/11/2023

DRAWN BY: 2BW

SCALE:

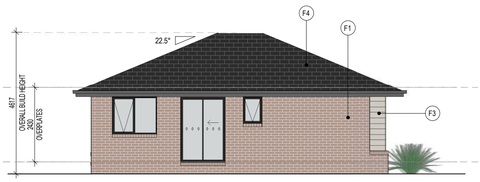
CLIENT: **COMMUNITY HOUSING LTD.**

SHEET No: 09/12

1 | MILFORD 10 'YALE' FACADE - FLOOR PLAN
1 : 100

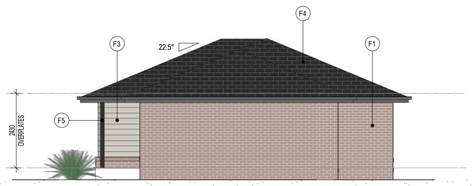
MILFORD 10 - YALE	
NAME	m2
GROUND FLOOR	98.61 m²
GARAGE	25.72 m²
PORTICO	2.42 m²
TOTAL	126.74 m²

1A | MILFORD 10 'YALE' FACADE - FRONT ELEVATION
1 : 100



1B | MILFORD 10 'YALE' FACADE - SIDE ELEVATION
1 : 100

1C | MILFORD 10 'YALE' FACADE - REAR ELEVATION
1 : 100



1D | MILFORD 10 'YALE' FACADE - SIDE ELEVATION 2
1 : 100

MATERIALS LEGEND

EXTERNAL FINISHES:

- F1 FACE BRICKWORK
- F2 RENDERED BRICKWORK
- F3 FC ' LINEA CLADDING
- F4 CONCRETE ROOF TILES
- F5 TIMBER POST

COLOUR SCHEME 1:

- BRICKWORK - AUSTRAL OASIS
- RENDER & EXTERNAL PAINTED SURFACES - DULUX PAVING STONE
- PAINTED FC ' LINEA CLADDING - DULUX PAVING STONE
- ROOF TILES - CURVED PROFILE SMOKE

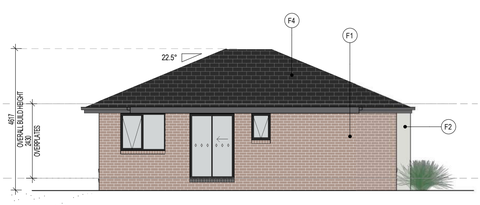
COLOUR SCHEME 2:

- BRICKWORK - PGH KURRAJONG
- RENDER & EXTERNAL PAINTED SURFACES - DULUX KAHLUA MILK
- PAINTED FC ' LINEA CLADDING - DULUX KAHLUA MILK
- ROOF TILES - CURVED PROFILE SMOKE

2 | MILFORD 10 'ACCESS' FACADE - FLOOR PLAN
1 : 100

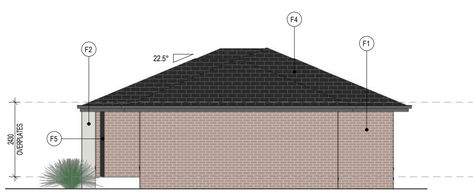
MILFORD 10 - ACCESS	
NAME	m2
GROUND FLOOR	99.14 m²
GARAGE	25.72 m²
PORTICO	2.42 m²
TOTAL	127.28 m²

2A | MILFORD 10 'ACCESS' FACADE - FRONT ELEVATION
1 : 100



2B | MILFORD 10 'ACCESS' FACADE - SIDE ELEVATION
1 : 100

2C | MILFORD 10 'ACCESS' FACADE - REAR ELEVATION
1 : 100



2D | MILFORD 10 'ACCESS' FACADE - SIDE ELEVATION 2
1 : 100

IMPORTANT NOTES:

REV	DATE	REVISION DESCRIPTION	DRAWN
13	12/02/24	EX. FENCE NOTES REMOVED FROM SITE PLAN / 3m VECHICLE CROSSING NOMINATED SITE PLAN	2BW
12	08/02/24	OVERALL BUILDING HEIGHT TO AHD NOMINATED ON ALL DWELLINGS (ELEVATIONS) / ALL DWELLINGS COMPLY WITH LHA SILVER' NOTE ADDED TO SITE PLAN	2BW
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4	30/08/23	SHADOW DIAGRAMS ADDED	2BW
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PROPOSAL:
27 No. DWELLING DEVELOPMENT

DRAWING: **MILFORD 10**

PROJECT NUMBER: TBC

PROPERTY ADDRESS: 2 TOBRUK STREET, MORWELL

DATE: 02/11/2023

DRAWN BY: 2BW

SCALE:

CLIENT: **COMMUNITY HOUSING LTD.**

SHEET No: 10/12

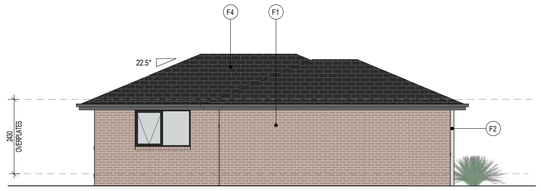
11 LUCAS 12 'ACCESS' FACADE - FLOOR PLAN

1 : 100

LUCAS 12 - ACCESS	
NAME	m2
GROUND FLOOR	86.69 m²
GARAGE	24.26 m²
PORTICO	2.81 m²
TOTAL	113.76 m²

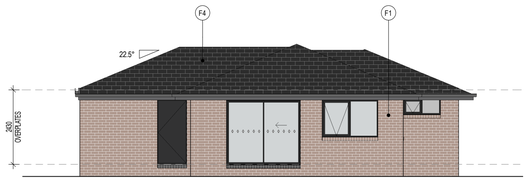
1A LUCAS 12 'ACCESS' FACADE - FRONT ELEVATION

1 : 100



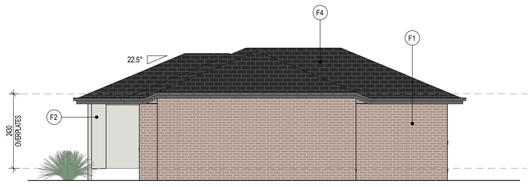
1B LUCAS 12 'ACCESS' FACADE - SIDE ELEVATION

1 : 100



1C LUCAS 12 'ACCESS' FACADE - REAR ELEVATION

1 : 100



1D LUCAS 12 'ACCESS' FACADE - SIDE ELEVATION 2

1 : 100

MATERIALS LEGEND

EXTERNAL FINISHES:

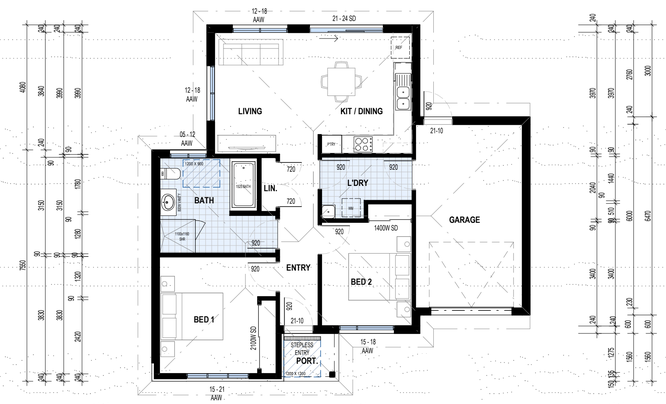
F1	FACE BRICKWORK	F4	CONCRETE ROOF TILES
F2	RENDERED BRICKWORK	F5	TIMBER POST
F3	FC ' LINEA CLADDING		

COLOUR SCHEME 1:

- BRICKWORK - AUSTRAL OASIS
- RENDER & EXTERNAL PAINTED SURFACES - DULUX PAVING STONE
- PAINTED FC ' LINEA CLADDING - DULUX PAVING STONE
- ROOF TILES - CURVED PROFILE SMOKE

COLOUR SCHEME 2:

- BRICKWORK - PGH KURRAJONG
- RENDER & EXTERNAL PAINTED SURFACES - DULUX KAHLUA MILK
- PAINTED FC ' LINEA CLADDING - DULUX KAHLUA MILK
- ROOF TILES - CURVED PROFILE SMOKE



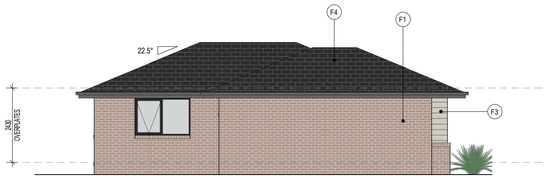
2 LUCAS 12 'YALE' FACADE - FLOOR PLAN

1 : 100

LUCAS 12 - YALE	
NAME	m2
GROUND FLOOR	86.52 m²
GARAGE	24.26 m²
PORTICO	2.81 m²
TOTAL	113.59 m²

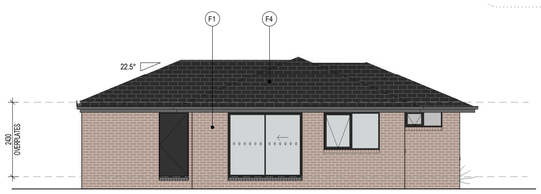
2A LUCAS 12 'YALE' FACADE - FRONT ELEVATION

1 : 100



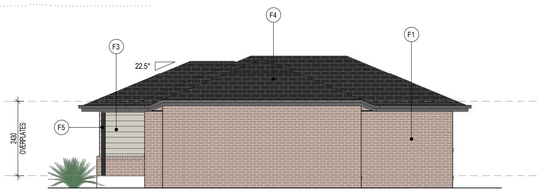
2B LUCAS 12 'YALE' FACADE - SIDE ELEVATION

1 : 100



2C LUCAS 12 'YALE' FACADE - REAR ELEVATION

1 : 100



2D LUCAS 12 'YALE' FACADE - SIDE ELEVATION 2

1 : 100

IMPORTANT NOTES:

REV	DATE	REVISION DESCRIPTION	DRAWN
13	12/02/24	EX. FENCE NOTES REMOVED FROM SITE PLAN / 3m VECHICLE CROSSING NOMINATED SITE PLAN	2BW
12	08/02/24	OVERALL BUILDING HEIGHT TO AHD NOMINATED ON ALL DWELLINGS (ELEVATIONS) / ' ALL DWELLINGS COMPLY WITH LHA SILVER' NOTE ADDED TO SITE PLAN	2BW
11	15/01/24	ALL TREES TO BE DEMOLISHED NOTED / LANDSCAPING CANOPY TREES IN FRONT SETBACKS AND PROPOSED NATURE STRIPS INDICATIVE TO MATCH LANDSCAPE PLANS	2BW
10	21/12/23	PROPOSED REAR BOUNDARIES BETWEEN UNITS 3-4 & 7-10 HAVE BEEN MOVED 800mm WEST / PARKLAND FOOTPATH ACCESS REVISED / CORNER SPLAY BOUNDARY ON LOT 24 REVISED	2BW
9	05/12/23	PROPOSED ROAD INTERSECTION RADIUS' REVISED AT ALAMEIN AND CHURCHILL ENTRY / ALL FOOTPATHS REVISED TO SUIT / TREE 2 NOW SHOWN AS TO BE REMOVED / LOT 20, 25, 26 & 27 PROPOSED PROPERTY BOUNDARIES MOVED 4.8m WEST / UNITS 3-5 & 11-14 ROTATED TO SUIT NEW ROAD ANGLE / ALL VEHICLE CROSSINGS NOW PERPENDICULAR TO ROADS	2BW
8	02/11/23	SITE LEGEND REVISED / CL/OTHESLINES NOTED / SHED SIZE NOTED / P.O.S. REVISED TO S.P.O.S.	2BW
7	26/10/23	PLANNING COMMENTS ADDESSED	2BW
6	17/10/23	PLANNERS COMMENTS ADDRESSED / ELEVATIONS ADDED / MATERIALS LEGEND ADDED	2BW
5	03/10/23	UNITS 21 - 24 MIRRORED FOR BETTER SOLAR ORIENTATION / CLIENT COMMENTS ADDED	2BW
4	30/08/23	SHADOW DIAGRAMS ADDED	2BW
3	25/08/23	FEASIBILITY CONCEPT RE-DESIGN / PLANNERS COMMENTS ADDRESSED	2BW
2	26/06/22	INITIAL FEASIBILITY AMENDED	2HB

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PROPOSAL:
27 No. DWELLING DEVELOPMENT

DRAWING: **LUCAS 12**

PROJECT NUMBER: TBC

PROPERTY ADDRESS: 2 TOBRUK STREET, MORWELL

DATE: 02/11/2023

DRAWN BY: 2BW

SCALE:

CLIENT: **COMMUNITY HOUSING LTD.**

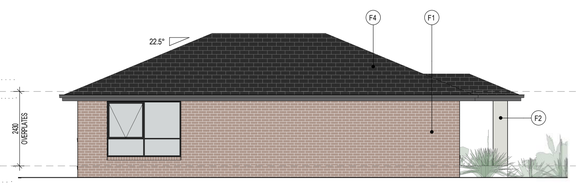
SHEET No: 11/12

2/02/2024 10:51:06 AM

1 | ARGYLE 13 'YALE' FACADE - FLOOR PLAN
1 : 100

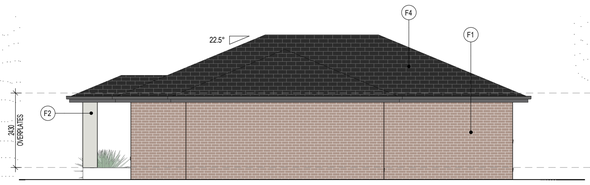
ARGYLE 13 - ACCESS	
NAME	m2
GROUND FLOOR	107.98 m²
GARAGE	24.19 m²
PORTICO	3.96 m²
TOTAL	136.13 m²

A | ARGYLE 13 'ACCESS' FACADE- FRONT ELEVATION
1 : 100



B | ARGYLE 13 'ACCESS' FACADE - SIDE ELEVATION
1 : 100

C | ARGYLE 13 'ACCESS' FACADE - REAR ELEVATION
1 : 100



D | ARGYLE 13 'ACCESS' FACADE - SIDE ELEVATION 2
1 : 100

MATERIALS LEGEND

EXTERNAL FINISHES:

- F1 FACE BRICKWORK
- F2 RENDERED BRICKWORK
- F3 FC ' LINEA CLADDING
- F4 CONCRETE ROOF TILES
- F5 TIMBER POST

COLOUR SCHEME 1:

- BRICKWORK - AUSTRAL OASIS
- RENDER & EXTERNAL PAINTED SURFACES - DULUX PAVING STONE
- PAINTED FC ' LINEA CLADDING - DULUX PAVING STONE
- ROOF TILES - CURVED PROFILE SMOKE

COLOUR SCHEME 2:

- BRICKWORK - PGH KURRAJONG
- RENDER & EXTERNAL PAINTED SURFACES - DULUX KAHLUA MILK
- PAINTED FC ' LINEA CLADDING - DULUX KAHLUA MILK
- ROOF TILES - CURVED PROFILE SMOKE

IMPORTANT NOTES:

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12	08/02/24	OVERALL BUILDING HEIGHT TO AHD NOMINATED ON ALL DWELLINGS (ELEVATIONS) / ALL DWELLINGS COMPLY WITH LHA SILVER' NOTE ADDED TO SITE PLAN	2BW
11	15/01/24	ALL TREES TO BE DEMOLISHED NOTED / LANDSCAPING CANOPY TREES IN FRONT SETBACKS AND PROPOOSED NATURE STRIPS INDICATIVE TO MATCH LANDSCAPE PLANS	2BW
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PROPOSAL:
27 No. DWELLING DEVELOPMENT

DRAWING:
ARGYLE 13

PROJECT NUMBER:
TBC

PROPERTY ADDRESS:
2 TOBRUK STREET, MORWELL

DATE:
02/11/2023

DRAWN BY:
2BW

SCALE:

CLIENT:
COMMUNITY HOUSING LTD.

SHEET No:
12/12

PLANNING and ENVIRONMENT ACT
LATROBE PLANNING SCHEME
CONSENT UNDER CLAUSE 52.20
VPP2402817
ENDORSED PLAN
Sheet 1 of 2
Signed: for
MINISTER FOR PLANNING
Date: 9 MAY 2024

Construction Management Plan – Site Setout and Proposed Environmental Protection Measures

Project Name: 2 Tobruk Street Morwell

Date and Revision: 12/02/2024

Management

Responsibilities:

Construction Manager: Paul Mammarella

Emergency Contact 1: 0429 770 306

Inspections and Maintenance:

Weekly reviews of plan and action as required.

Dust — Risk: Significant / Med / Low

Requirement: Dust generation must be minimised to ensure there is no health risk or loss of amenity and prevented on dry, windy days.

Minimising Dust Generation:

Temp fencing and mesh if required, Minimal dust on a domestic site.

Shade cloth installed to scaffolding to reduce dust particles and debris leaving the scaffolding. If required

Dust Suppression:

Wet saw used for masonary cutting

Erosion and Sediment — Risk: Significant / Med / Low

Requirement: Erosion and sediment must be managed in accordance with current best practice environmental management practices, to prevent sediment-laden water from entering any drainage system or natural waterway. Mud must not be transported on to nearby roads.

Drainage Management:

Sediment barrier at base of temp fencing. Temporary filtered silt pits installed to capture ground water during construction

Sediment Traps:

Geotextile fabric sausage laid at stormwater drains for water to pass through without sediment into stormwater drains

Vehicle and Road Management:

Site Access: One access point and room for 2 cars only per unit

Cleaning Vehicles: Scrape off excess material if required prior to existing site

Street Cleaning: Physically scrape and sweep method

Trees

To mitigate impacts on wildlife which may be present on site, any trees cut down will not be physically removed from site for a period of 24 hours

Noise — Risk: Significant / Med / Low

Requirement: EPA Victoria and Council requirements must be adhered to in relation to the level of noise and working hours, to ensure that residents and other applicable neighbours to the site are not disturbed unreasonably. The generation of noise must be minimised.

Working Hours:

To be in accordance with Council Local Laws and Asset Protection Permit Conditions

Waste — Risk: Significant / Med / Low

Requirement: Litter and waste must be contained on site, before disposal in a responsible manner. Waste generation must be minimised.

Requirement: Litter and waste must be contained on site, before disposal in a responsible manner. Waste generation must be minimised.

Waste Storage and Disposal:

In site cage and removed upon requirements, Washings are maintained on site to designated point for absorption onto ground. No run-off into street drains.

Chemicals — Risk: Significant / Med / Low

Requirement: Storage and spill management practices must be implemented to ensure that no environmental damage can result from the escape or spillage of chemicals or fuels.

Storage:

Lockable shipping container for storage of building materials

Spill Management:

N/A

Flora and Fauna Risk: Significant / Med / Low

Requirement: All significant flora and fauna on and adjacent to the site must be protected.

Yes / No. Details:

Temporary fencing and details set out in Arborist report.

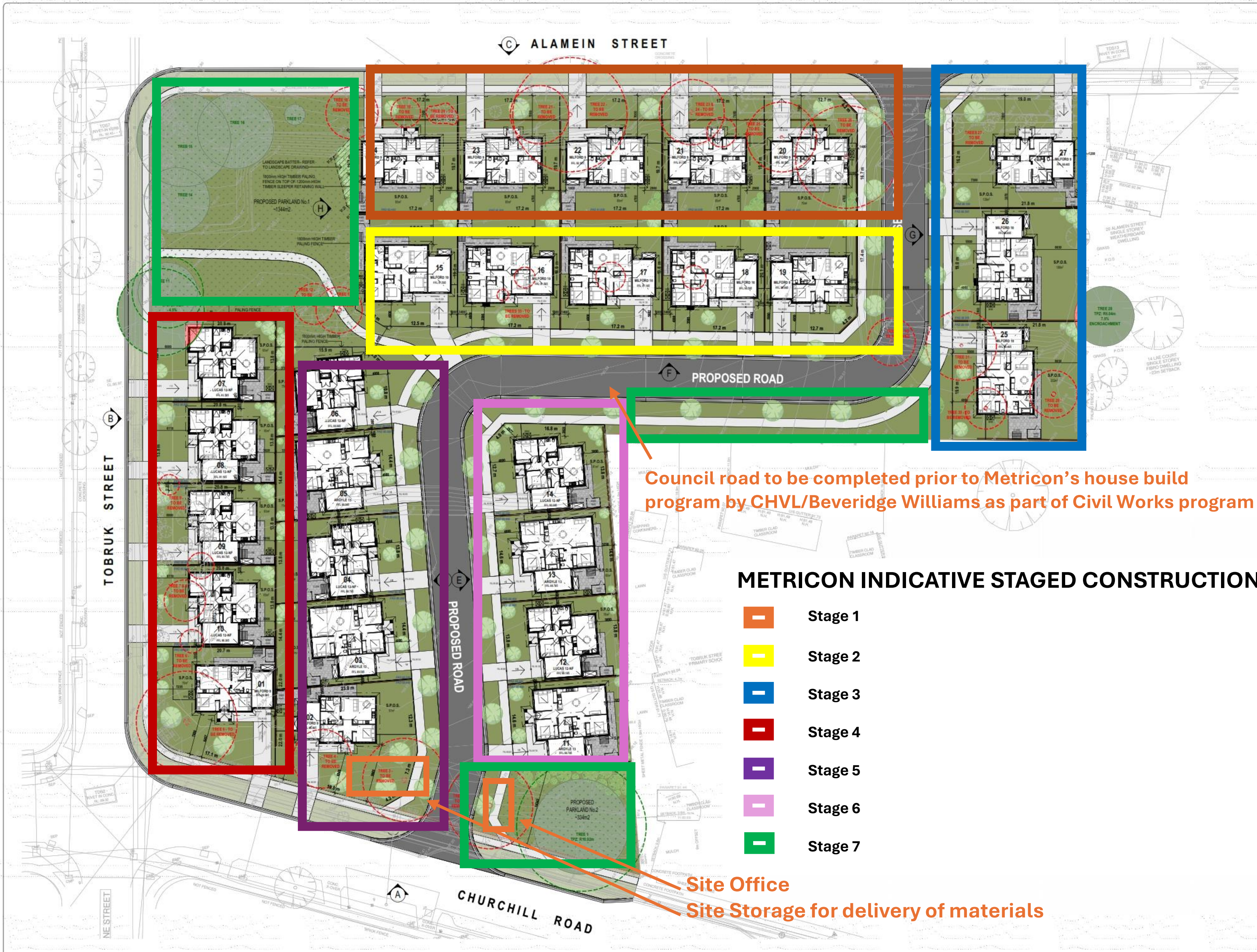
Archaeological/Heritage — Risk: Significant / Med / Low

Requirement: Places, sites and objects of archaeological or heritage significance must be protected.

Yes / No. Details:

No. None Identified

REFER TO 'CMP SITE PLAN' ATTACHED



PROPERTY SCHEDULE

LOT No.	PROPOSED LOT AREA	BUILDING NAME	FACADE	BUILDING AREA	SITE COVERAGE: PROPOSED LOT
01	393 m²	MILFORD 9	ACCESS	105 m²	27%
02	427 m²	MILFORD 9	YALE	105 m²	24%
03	323 m²	ARGYLE 13	ACCESS	114 m²	35%
04	294 m²	LUCAS 12	ACCESS	139 m²	47%
05	291 m²	ARGYLE 13	ACCESS	114 m²	39%
06	270 m²	LUCAS 12	ACCESS	139 m²	51%
07	286 m²	LUCAS 12	ACCESS	114 m²	40%
08	286 m²	LUCAS 12	YALE	114 m²	40%
09	285 m²	LUCAS 12	ACCESS	114 m²	40%
10	285 m²	LUCAS 12	YALE	114 m²	40%
11	288 m²	ARGYLE 13	ACCESS	139 m²	48%
12	272 m²	LUCAS 12	ACCESS	114 m²	42%
13	288 m²	ARGYLE 13	ACCESS	139 m²	48%
14	286 m²	LUCAS 12	ACCESS	114 m²	40%
15	323 m²	MILFORD 10	YALE	127 m²	39%
16	334 m²	MILFORD 10	ACCESS	127 m²	38%
17	339 m²	MILFORD 10	YALE	127 m²	37%
18	344 m²	MILFORD 10	ACCESS	127 m²	37%
19	314 m²	MILFORD 9	YALE	105 m²	33%
20	305 m²	MILFORD 9	ACCESS	105 m²	34%
21	339 m²	MILFORD 9	YALE	105 m²	31%
22	339 m²	MILFORD 9	ACCESS	105 m²	31%
23	339 m²	MILFORD 9	YALE	105 m²	31%
24	339 m²	MILFORD 9	ACCESS	105 m²	31%
25	437 m²	MILFORD 10	YALE	127 m²	29%
26	414 m²	MILFORD 10	ACCESS	127 m²	31%
27	410 m²	MILFORD 9	YALE	105 m²	25%
OVERALL BUILDING AREA:				3167 m²	OVERALL SITE COVERAGE
OVERALL SITE AREA:				13929 m²	23%

LANDSCAPING AREAS		
CONCRETE DRIVEWAY	887 m²	
CONCRETE PATH	612 m²	
LANDSCAPING	7069 m²	
PERMEABLE PAVING	676 m²	
ROAD	1432 m²	
GARDEN AREA	7531 m²	54%
TOTAL PERMEABLE AREA:	7746 m²	56%

LEGEND

- PROPOSED RETAINING WALL
- CONCRETE DRIVEWAY / PATH
- PERMEABLE PAVING
- PROPOSED ROAD
- PROPOSED PARKLAND
- TREE PROTECTION ZONE
- TREE TO BE REMOVED
- EXISTING TREE
- PROPOSED LANDSCAPING SHRUB / TREE

NOTE:
ALL DWELLINGS WILL COMPLY WITH LHA SILVER DESIGN GUIDELINES
REFER ALSO TO DETAILED PLANS ON SHEET 05-12

PROPOSAL: 27 No. DWELLING DEVELOPMENT

DRAWING: GROUND FLOOR/ SITE PLAN

PROJECT NUMBER: TBC

PROPERTY ADDRESS: 2 TOBRUK STREET, MORWELL

DATE: 02/11/2023 | DRAWN BY: 2BW | SCALE: 1:300 A1

CLIENT: COMMUNITY HOUSING LTD.

SHEET No: 03/12

2 Tobruk Street, Morwell, Victoria.

Biodiversity Assessment: Basic Assessment Pathway for a proposed development

Report for

Everyone, a division of Metricon

October 2023

BeaconEcological

ACKNOWLEDGEMENTS

Beacon Ecological would like to acknowledge the following for their contribution to the project:

- **James Carnell** (Everyone, a division of Metricon) for site and project information.

Beacon Ecological
3 Menczer Lane
Jan Juc Victoria 3228
Email: luke@beaconecological.com.au
Web: www.beaconecological.com.au
ABN: 351 621 669 82

Report Version: FINAL V2 October 26, 2023
Field assessment: Luke Hynes
Report: Luke Hynes
Photography: Luke Hynes
Cover Photo: 2 Tobruk Street, Morwell, Victoria.

Beacon Ecological acknowledges and pays respect to the past, present and future Traditional Custodians and Elders of this nation, particularly the Braiakaulung people on whose land the field work was completed, and the continuation of cultural, spiritual and educational practices of Aboriginal and Torres Strait Islander peoples.

DISCLAIMER

The author advises that the information presented in this report, including any management advice, has been prepared with all due diligence and care, and based on the best available knowledge and research.

However the author takes no responsibility for any loss, injury or financial damage resulting from the reliance and/or application of management advice provided in the report.

TABLE OF CONTENTS

SUMMARY

Beacon Ecological was engaged by Everyone, a division of Metricon to undertake a Biodiversity Assessment for a proposed development at 2 Tobruk Street, Morwell, Victoria. Community housing is proposed to be constructed at the lot which is currently vacant and was previously the site of Morwell Primary School.

The proposed development is subject to *Clause 52.20 Victoria's Big Housing Build* of the Latrobe Planning Scheme, which facilitates projects under the Victorian Big Housing Build stimulus. Note that this project is exempt from *Clause 52.17 Native Vegetation* of the planning scheme.

This report provides permit application requirements for the basic assessment pathway as per *52.20-8 Native Vegetation requirements.*

METHODOLOGY

A field assessment was undertaken within the study area by qualified botanist, Luke Hynes (*Vegetation Quality Assessment Accreditation Number: 077*) on 10 October 2023. Flora taxa and habitat types within the study area were noted and areas of native vegetation were mapped and assessed using the Vegetation Quality Assessment where appropriate.

RESULTS

The field visit revealed that the property is dominated by predominantly introduced planted vegetation over a modified understorey with some scattered native groundcover species (Figure 2).

Previous and current records and habitat requirements for *Environmental Protection and Biodiversity Conservation Act 1999* listed species from state and federal databases were reviewed. Given the available habitat and amount of survey effort, it is considered unlikely that the proposed works will have a significant impact on any matters of national environmental significance.

BIODIVERSITY ASSESSMENT

The current application is of the basic assessment pathway as scattered native vegetation providing less than 25% vegetative cover is proposed to be removed. No remnant native patches of vegetation or scattered trees were noted within the study area.

FURTHER REQUIREMENTS AND RECOMMENDATIONS

Information about the native vegetation in accordance with the application requirements 1, 5 and 9 in Table 4 of the Guidelines for removal, destruction or lopping of native vegetation (DELWP 2017) must be provided to the satisfaction of the Secretary to the Department Energy, Environment and Climate Action (See Section 5 of this report). There are no offset requirements.

Recommendations to further avoid and minimise impacts to ecological values during and after the proposed works are detailed in Section 6.2.

1 INTRODUCTION

Beacon Ecological was engaged by Everyone, a division of Metricon to undertake a Biodiversity Assessment for a proposed development at 2 Tobruk Street, Morwell, Victoria. Community housing is proposed to be constructed at the lot which is currently vacant and was previously the site of Morwell Primary School.

The proposed development is subject to *Clause 52.20 Victoria's Big Housing Build* of the Latrobe Planning Scheme, which facilitates projects under the Victorian Big Housing Build stimulus. Note that this project is exempt from *Clause 52.17 Native Vegetation* of the planning scheme.

This report provides permit application requirements for the basic assessment pathway as per *52.20-8 Native Vegetation requirements.*

1.1 SCOPE OF WORKS

The following tasks were completed during the vegetation assessment:

Background Literature Review: Relevant documentation pertaining to the study area was reviewed.

Vegetation Quality Assessment: A qualified and experienced botanist traversed the site to determine the extent of native vegetation and other ecological values.

Mapping: A site plan, using aerial photography detailing the location of the proposed works areas and vegetation proposed for removal and retention has been prepared for inclusion in the report. The mapping also includes, site location, boundaries, area of removal (in hectares), and ecological values using aerial photography and GPS (if required).

Report Production: A report was prepared to detail the:

- Results of the field assessment.
- Calculations of native vegetation losses and offsets if required.
- Recommendations to protect and conserve ecological values within the site during each construction phase.

1.2 STUDY AREA

The study areas is located at 2 Tobruk Street, Morwell (Figure 1) and is an irregularly shaped block of approximately 1.4 hectares. The study area is dominated by introduced vegetation, generally slashed grasses with planted trees and shrubs located around the property boundary with some species recruiting into open areas. The topography slopes gently to the south and is bounded by Alamein Street to the north, Tobruk Street to the west, Churchill Road to the south and private residential properties to the east. The study area is located in a residential area and was previously used as a primary school which has recently been demolished.

The property is located within General Residential Zone (GRZ) of the Latrobe Shire Council planning scheme and is covered by a Design and Development Overlay (DDO11), (DEECA 2023a). The property is within the Gippsland Plain Bioregion and West Gippsland Catchment Management Authority Boundaries and mapped as Location 1 on the DEECA location risk mapping (DEECA 2023b).

2 METHODOLOGY

2.1 DATABASE REVIEW

The following databases were reviewed to obtain background information on the study area:

- **Nature Kit** for pre-1750 (pre - European settlement) and 2005 (extant) native vegetation modelling and significant flora and fauna species previously recorded within a five-kilometre radius of the study area (DEECA 2023a).
- **Victorian Biodiversity Atlas** for significant flora and fauna species previously recorded within a five-kilometre radius of the study area (DEECA 2023c).
- **Protected Matters Search Tool** for nationally significant ecological values that are predicted to occur within five kilometres of the study area (DCCEWA 2023).
- **Planning Schemes Online** for information regarding planning provision overlays and zones pertaining to native vegetation and ecological values within the study area (DEECA 2023b).

2.2 MAPPING AND OTHER LITERATURE

Relevant literature, such as Bioregional Ecological Vegetation Class (EVC) Benchmarks and national/state/local policies and legislation were also reviewed as part of the investigation (DEECA 2023a, DEECA 2023b). The following were also reviewed:

- *2 Tobruk Street, Morwell. Concept Proposal* (Everyone, a division of Metricon 2023).
- *2 Tobruk Street, Morwell. Preliminary Tree Survey* (Evergreen Tree Consulting 2023).

2.3 FIELD ASSESSMENT

A field assessment was undertaken within the study area by qualified botanist, Luke Hynes (*Vegetation Quality Assessment Accreditation Number: 077*) on 10 October 2023.

The area proposed to be impacts was traversed in order to:

- Note flora taxa naturally occurring. Plant taxonomy follows the Victorian Biodiversity Atlas (VBA) (DEECA 2023c).
- Note any habitat types and distribution.
- Map the extent of native vegetation and habitat present.
- Undertake a Vegetation Quality Assessment (VQA) within areas of native vegetation that meet the assessment criteria thresholds.

2.4 BIODIVERSITY ASSESSMENT

The Guidelines (DELWP 2017) are incorporated into the Victoria Planning Provisions and all planning schemes in Victoria. The purpose of the Guidelines is to set out and describe the application of Victoria's statewide policy in relation to assessing and compensating for the removal of native vegetation.

The three-step approach (avoid, minimise, offset native vegetation) is the key policy in relation to the removal of native vegetation to achieve no net loss to biodiversity. To determine extent of native vegetation, *remnant patch* or *scattered tree* are used as defined below:

Patch

A patch of d, native vegetation is:

- An area of vegetation where at least 25 per cent of the total perennial understorey plant cover is native, or
- Any area with three or more native canopy trees where the drip line of each tree touches the drip line of at least one other tree, forming a continuous canopy, or
- Any mapped wetland included in the Current wetlands map, available in DELWP systems and tools.

Scattered tree

A scattered tree is:

- A native canopy tree that does not form part of a patch.

Applications to remove native vegetation are categorised in to one of three assessment pathways with corresponding application requirements and decision guidelines.

- **Basic:** limited impacts on biodiversity.
- **Intermediate:** could impact on large trees, endangered EVCs, and sensitive wetlands and coastal areas.
- **Detailed:** could impact on large trees, endangered EVCs, sensitive wetlands and coastal areas, and could significantly impact on habitat for rare or threatened species

The assessment pathway is determined by considering the extent and location risk modelling of the native vegetation to be removed as per Table 1 below.

Table 1. Determining the assessment pathway.

Extent of native vegetation	Location 1	Location 2	Location 3
Less than 0.5 hectares and not including any large trees	Basic	Intermediate	Detailed
Less than 0.5 hectares and including one or more large trees	Intermediate	Intermediate	Detailed
0.5 hectares or more	Detailed	Detailed	Detailed

The current application is considered to be of the basic assessment pathway as scattered native understorey species providing less than 25% vegetative cover are proposed to be removed.

2.5 LIMITATIONS

Field surveys provide an indication of what is present at the time of survey (i.e. a 'snapshot') and as such may not include species that may be dormant or absent due to seasonal or climatic conditions. As such, some species may be dormant or not displaying diagnostic characteristics at the time of survey.

A fauna survey (i.e. the identification of all fauna species present onsite) was not within the scope of works during the assessment.

However, the survey effort and review of existing relevant information is considered sufficient to provide adequate information to undertake a Biodiversity Assessment.

3 RESULTS

3.1 FLORA SPECIES

The field visit identified 50 species occurring within the study area. Of these five are considered native species and 45 introduced. See Appendix 1 for a list of species recorded within the study area.

No nationally or state significant flora species were noted within the study area during the assessment.

Two introduced species, Blackberry *Rubus fruticosus* spp. agg. and Montpellier Broom *Genista monspessulana*, noted within the study area are listed as regionally controlled noxious weed within the West Gippsland Catchment (DPI 2008).

3.2 VEGETATION QUALITY ASSESSMENT

Pre-1750 (prior to European settlement) EVC modelling and indicates that the property is likely to have been dominated by Plains Grassy Forest (EVC 151). 2005 (extant) mapping indicates that the study area is likely devoid of native vegetation (DELWP 2023a).

The field visit revealed that the property is dominated by introduced vegetation with scattered native species and some bare areas of ground devoid of native vegetation (Plate 1, cover photo).

Plate 1. Slashed introduced grass species within the study area with planted trees and shrubs in the rear of the photo.

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Introduced vegetation dominates the study area and slashed grassy areas dominated by Kikuyu *Cenchrus clandestinus* with scattered Brown-top Bent *Agrostis capillaris,* Sweet Vernal-grass *Anthoxanthum odoratum,* Flatweed *Hypochaeris radicata,* Paspalum *Paspalum dilatatum,* Onion Grass *Romulea rosea,* Suckling Clover *Trifolium dubium* and Clover *Trifolium repens* were noted amongst garden beds supporting planted ornamental trees and shrubs. Some naturally occurring scattered native groundcover species providing less than 25 % were noted including Slender Wallaby-grass *Rytidosperma racemosum* var. *racemosum,* Finger Rush *Juncus subsecundus,* Common Bog-sedge *Schoenus apogon* and Sweet Pittosporum *Pittosporum undulatum* seedlings.

Planted trees include a mix of species native to Australia but generally not locally indigenous and introduced trees including Spotted Gum *Corymbia ficifolia,* Silky Oak *Grevillea robusta,* Golden Elm *Ulmus,* White Gum *Eucalyptus scoparia,* Narrow-leaved Black Peppermint *Eucalyptus nicholii*, Bottle Brush *Callistemon* spp., Desert Ash *Fraxinus angustifolia,* Mahogany Gum *Eucalyptus botryoides,* Prickly Leaved Paperbark *Melaleuca styphelioides* and Coast Banksia *Banksia integrifolia.*

The locally indigenous Blackwood *Acacia melanoxylon* was noted in the northwest of the study area but is considered likely to have been planted considering the previous uses of the site and age of other clearly planted species. Some native groundcover species were also noted that appear to have been previously used for landscaping including Spiny-headed Mat-rush *Lomandra longifolia,* Tasman Flax-lily *Dianella tasmanica,* Austral Indigo *Indigofera australis,* Sticky Hop-bush *Dodonaea viscosa* and Heath Tea-tree *Leptospermum myrsinoides.*

Plate 1. Likely planted Blackwood within the study area.

3.3 NATIONALLY SIGNIFICANT FLORA SPECIES

Appendix 2 presents flora species listed on the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) that have previously been recorded and/or are predicted to occur within a five-kilometre radius of the study area by the VBA or the Protected Matters Search tool (DEECA 2023c, DCCEWA 2023).

Two flora species of national significance listed under the EPBC Act has previously been recorded within a five-kilometre radius of the study area (DEECA 2023c). An additional nine species listed under the EPBC Act are predicted to occur, or have habitat predicted to occur within a five-kilometre radius of the study area (DCCEWA 2023), (Appendix 2).

Given the available habitat and amount of survey effort, it is considered unlikely that the study area provides habitat for any flora species of national significance.

3.4 FAUNA HABITAT ASSESSMENT

A habitat assessment was undertaken which revealed the presence of planted trees and shrubs and slashed lawn.

Planted trees and shrubs may provide a variety of habitat niches that are likely to be used by a range of arboreal mammals, native birds and reptiles for nesting, foraging and shelter. Insectivorous birds can forage underneath bark, on leaves and flowers, and in leaf litter on the ground. Any coarse woody debris (e.g. branches, logs, stumps) and leaf litter often found beneath mature trees may provide shelter and foraging habitat for small marsupials, reptiles and frogs.

Slashed introduced grasslands generally provide low quality fauna habitat. Typically, introduced grasslands provide few resources for native fauna and are used by relatively few species due to the highly modified nature of this habitat. Ground-foraging birds and woodland birds may forage on seeding grasses and herbs within these areas.

3.5 NATIONALLY SIGNIFICANT FAUNA SPECIES

Appendix 3 presents fauna species listed on the EPBC Act that have previously been recorded and/or are predicted to occur within a five kilometre radius of the study area by the VBA (DEECA 2023c) or the DEE Protected Matters Search tool (DCCEWA 2023).

Eight fauna species of national significance, listed under the EPBC Act, have previously been recorded within the five-kilometre VBA search area (DEECA 2023c, Appendix 3). The Protected Matters Search Tool identified an additional 20 species, listed under the EPBC Act, that may occur or for which habitat may occur in the site (DCCEWA 2023, Appendix 3).

Given the habitat type present and previous records, it is considered unlikely that the study area provides significant habitat for any fauna species of national significance. Some species may flyover or forage within the study area on an occasional basis.

3.6 SIGNIFICANT ECOLOGICAL COMMUNITIES

A review of information and databases maintained by DEECA and DCCEWA identified the following ecological communities as occurring within the study area or within a five-kilometre radius of the study area.

Ramsar Wetlands (listed under the EPBC Act)

The Protected Matters Search Tool reported the study area is not near any Ramsar sites of international significance (DCCEWA 2023).

Ecological Communities (listed under the EPBC Act)

The Protected Matters Search Tool reported one nationally significant ecological community, *Gippsland Red Gum (Eucalyptus tereticornis subsp. mediana) Grassy Woodland and Associated Native Grassland* may occur within five-kilometres of the study area (DCCEWA 2023).

This community was not noted within the study area.

Ecological Communities (listed under the FFG Act)

No ecological communities listed under the FFG Act were noted within the study area.

4 RELEVANT LEGISLATION AND POLICIES

The following policies and legislation were taken into consideration during the assessment.

4.1 NATIONAL

***Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act)**

The Environment Protection and Biodiversity Conservation Act 1999 (the EPBC Act) is the central piece of national environmental legislation in Australia. The Act provides a legal framework to protect and manage nationally and internationally important flora, fauna, ecological communities and heritage places — defined in the Act as matters of national environmental significance (SEWPAC 2013).

Under the EPBC Act an action will require approval from the Minister if the action has, will have, or is likely to have, a significant impact on a matter of national environmental significance. The *EPBC Act Significant Impact Guidelines* (SEWPAC 2013) provide information on whether an action (e.g. a project, a development, an undertaking, an activity or a series of activities) requires a referral.

Implications –

The proposed works are unlikely to pose a significant impact on any matters of national significance. A referral under the EPBC Act is not required.

4.2 STATE

***The Flora and Fauna Guarantee Act 1988* (FFG Act)**

The FFG Act is the key state legislation for the conservation of threatened species and communities and for the management of potentially threatening processes. The FFG Act provides for the listing of taxa (genera, species, subspecies, varieties) and communities of flora and fauna that are threatened (Threatened List); potentially threatening processes (Processes List); and flora that have legal protection (Protected Flora List).

A permit is required from DELWP if an action on public land proposes to collect, kill, injure or disturb protected flora.

Implications -

As the proposed works are not on public land a permit under the FFG Act is not required from DELWP.

***Planning and Environment Act 1987* (PE Act)**

The Planning and Environment Act 1987 (PE Act) establishes a framework for planning the use, development and protection of land in Victoria. The PE Act provides for the Minister to prepare a set of standard provisions for municipal planning schemes called the Victoria Planning Provisions (VPP).

The proposed development is subject to Clause *52.20 VICTORIA'S BIG HOUSING BUILD* which aims to facilitate the use and development of land for housing projects funded by Victoria's Big Housing Build program and ensure that development does not unreasonably impact on the amenity of adjoining dwellings.

Under *Clause 52.20-8 Native vegetation requirements* the following applies:

Before the removal, destruction or lopping of native vegetation outside the levy area:

- *Information about the native vegetation in accordance with the application requirements 1, 5 and 9 in Table 4 of the Guidelines for removal, destruction or lopping of native vegetation (DELWP 2017) must be provided to the satisfaction of the Secretary to the Department Environment, Land, Water and Planning (as constituted under Part 2 of the Conservation, Forests and Lands Act 1987).*

- *The biodiversity impacts from the native vegetation must be offset in accordance with the Guidelines for removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, December 2017).*

- *Evidence that the required offset has been secured must be provided to the satisfaction of the Secretary to the Department of Environment, Land, Water and Planning*

Implications –

Information about the native vegetation in accordance with the application requirements 1, 5 and 9 in Table 4 of the *Guidelines for removal, destruction or lopping of native vegetation (DELWP 2017)* is provided in Section 5 of this report.

This information must be provided to the satisfaction of the Secretary to the Department of Energy, Environment and Climate Action.

4.3 LOCAL AND REGIONAL

Planning Scheme

Each municipality in Victoria is covered by a planning scheme, which sets out policies and provisions for the use, development and protection of land (zones and overlays). They are legal documents, sourced and constructed according to the VPP, prepared by the local council or Minister and approved by the Minister. Particular zones and overlays (such as Environmental Significance Overlays and Green Wedge Zones) in the planning scheme may stipulate additional conditions and requirements for applications proposing to remove native vegetation.

A **zone** is a planning provision that reflects the primary character of land (such as residential, industrial or rural) and indicates the type of use and development, which may be appropriate in that zone (DSE 2010d).

An **overlay** is also a planning provision, but one which is in addition to the zone. Overlays ensure that important aspects of the land are recognised (such as areas of significant vegetation). Overlays indicate the type of development and/or protection, which may be appropriate in that area (DSE 2010d).

Implications –

No overlays pertaining to ecological values cover the study area.

5 BIODIVERSITY ASSESSMENT

Table 2. Application requirements and responses for proposed vegetation clearance under the basic assessment pathway.

#	Application Requirement	Response
1	Information about the native vegetation to be removed, including:	
	The assessment pathway and reason for the assessment pathway. This includes the location category of the native vegetation to be removed.	**Basic Assessment Pathway** Scattered native groundcover species providing less than 25% vegetative cover are proposed to be impacted.
	A description of the native vegetation to be removed that includes: • Whether it is a patch or a scattered tree (or both). • The extent (in hectares). • The number and circumference (in centimetres measured at 1.3 metres above ground level) of any large trees within a patch. • The number and circumference (in centimetres measured at 1.3 metres above ground level) of any scattered trees, and whether each tree is small or large. • The strategic biodiversity value score • The condition score. • If it includes endangered Ecological Vegetation Classes. • If it includes sensitive wetland or coastal areas.	• Scattered native groundcover species amongst introduced grasses and planted trees and shrubs are proposed to be impacted. • No remnant native trees or patches of vegetation are proposed to be impacted. • The native vegetation to be removed does not include any sensitive wetland or coastal areas.
	Maps showing the native vegetation and property in context and containing: • Scale, north point and property boundaries • Location of any patches of native vegetation and the number of large trees within the patch proposed to be removed • Location of scattered trees proposed to be removed, including their size	A map is not required as no remnant native patches or scattered trees were noted within the study area.
	The offset requirement, determined in accordance with section 5 of the Guidelines,	There are no offset requirements.

#	Application Requirement	Response
	that will apply if the native vegetation is approved to be removed	
5	An avoid and minimise statement. The statement describes any efforts to avoid the removal of, and minimise the impacts on the biodiversity and other values of native vegetation, and how these efforts focussed on areas of native vegetation that have the most value. The statement should include a description of the following: • Strategic level planning – any regional or landscape scale strategic planning process that the site has been subject to that avoided and minimised impacts on native vegetation across a region or landscape • Site level planning – how the proposed use or development has been sited or designed to avoid and minimise impacts on native vegetation. • That no feasible opportunities exist to further avoid and minimise impacts on native vegetation without undermining the key objectives of the proposal.	**Strategic level planning:** The study area has not been considered as part of any strategic level planning. **Site level planning**: The proposed development avoids and minimises impact to native vegetation by selecting a site generally devoid of native vegetation. While not considered remnant native vegetation, the Blackwood trees are proposed to be retained within a park area. Additional ecological protection measures are detailed in Section 6.2.
9	An offset statement providing evidence that an offset that meets the offset requirements for the native vegetation to be removed has been identified, and can be secured in accordance with the Guidelines. A suitable statement includes evidence that the required offset: • Is available to purchase from a third party, or • Will be established as a new offset and has the agreement of the proposed offset provider, or • Can be met by a first party offset	Offsets are not required.

6 REQUIREMENTS AND RECOMMENDATIONS

6.1 REQUIREMENTS

Information about the native vegetation in accordance with the application requirements 1, 5 and 9 in Table 4 of the Guidelines for removal, destruction or lopping of native vegetation (DELWP December 2017) must be provided to the satisfaction of the Secretary to the Department Energy, Environment and Climate Action (See Section 5 of this report). There are no offset requirements.

6.2 RECOMMENDATIONS

The following actions are highly recommended to further avoid and minimise impacts to ecological values during and after the proposed works.

Native Vegetation

- Ensure any contractors on-site are aware of, and educated about areas of vegetation to be retained and enforce penalties for those who enter into or disturb these areas.
- Exclusion areas and 'no go' zones should be established and protected where appropriate (i.e. use high visibility para-webbing to delineate areas of ecological value). Stockpiles, machinery and personnel rest areas should be placed in designated areas away from retained vegetation.
- Ensure any proposed works remain within the permitted construction footprint (i.e. do not disturb or remove areas of vegetation outside this footprint).
- Any revegetation or landscaping will use locally indigenous species.

Sedimentation and Pollution

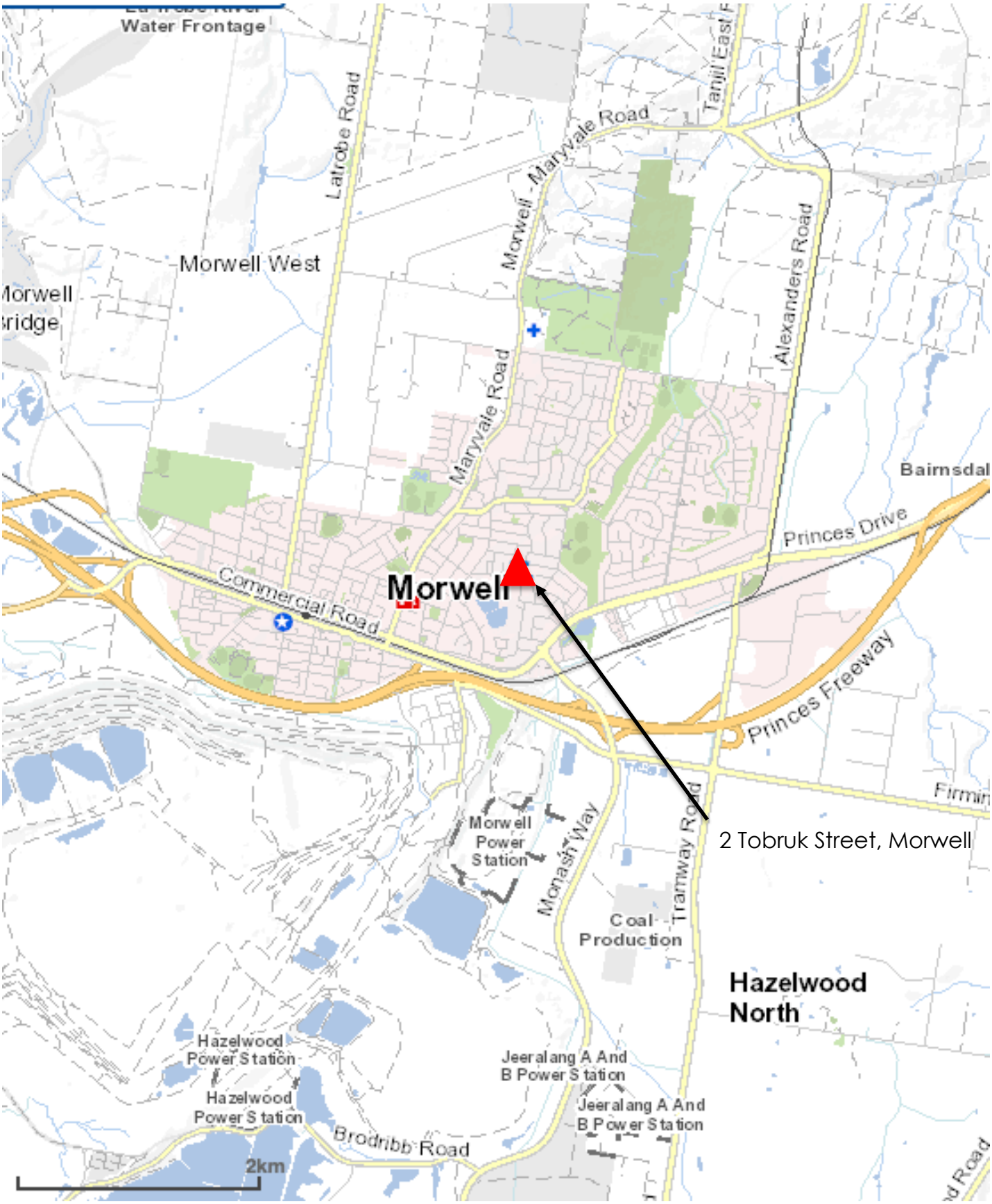
- Inform contractors that drainage lines are areas of ecological value or pathways to areas of ecological values (e.g. rivers, oceans and wetlands).
- Ensure best practice sedimentation and pollution control measures, to the satisfaction of the Environment Protection Authority (EPA 1991), are undertaken at all times to prevent off-site impacts.
- Ensure waste stockpiles, skips and personnel rest areas are located away from drainage areas to prevent accidental movement of rubbish and construction materials.

Weed and Biosecurity

- Any imported soil or gravel must be weed free to prevent importation of weed seed into the study area.
- Control the placement of any soil stockpiles and green waste outside areas of vegetation.

FIGURES

FIGURE 1. LOCATION OF THE STUDY AREA



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APPENDICES

APPENDIX 1. FLORA SPECIES RECORDED WITHIN THE STUDY AREA DURING THE CURRENT ASSESSMENT

Notes: CaLP – denotes Catchment and Land Protection Act *regionally controlled* listed weed within the West Gippsland Catchment.
- Native to Australia but located outside natural distribution.

Scientific Name	Common Name
NATIVE SPECIES	
Epilobium hirtigerum	Hairy Willow-herb
Juncus subsecundus	Finger Rush
Pittosporum undulatum	Sweet Pittosporum
Rytidosperma racemosum var. racemosum	Slender Wallaby-grass
Schoenus apogon	Common Bog-sedge
INTRODUCED SPECIES	
Acacia baileyana	Cootamundra Wattle
Agrostis capillaris	Brown-top Bent
Aira cupaniana	Quicksilver Grass
Anthoxanthum odoratum	Sweet Vernal-grass
Arctotheca calendula	Cape Weed
Bellis perennis	English Daisy
Briza minor	Lesser Quaking-grass
Bromus catharticus	Prairie Grass
Casuarina cunninghamiana subsp. *cunninghamiana*	River Oak
Cenchrus clandestinus	Kikuyu
Centaurium erythraea	Common Centaury
Coprosma repens	Mirror Bush
Cortaderia selloana subsp. *selloana*	Pampas Grass
Cotoneaster pannosus	Velvet Cotoneaster
Cynodon dactylon	Couch
Cyperus eragrostis	Drain Flat-sedge
Dactylis glomerata	Cocksfoot
Ehrharta erecta	Panic Veldt-grass
Ehrharta longiflora	Annual Veldt-grass
Festuca arundinacea	Tall Fescue
Fraxinus angustifolia	Desert Ash
Galium aparine	Cleavers
CaLP *Genista monspessulana*	Montpellier Broom
Hedera helix s.l.	English Ivy

Scientific Name	Common Name
Hypochaeris radicata	Flatweed
Ipomoea spp.	Morning Glory
Juncus capitatus	Capitate Rush
Leontodon saxatilis subsp. *saxatilis*	Hairy Hawkbit
Lolium spp.	Rye Grass
Lotus creticus	Lotus
Medicago polymorpha	Burr Medic
Paspalum dilatatum	Paspalum
Phalaris aquatica	Toowoomba Canary-grass
Plantago coronopus	Buck's-horn Plantain
Plantago lanceolata	Ribwort
Prunella vulgaris	Self-heal
Rhaphiolepis indica	Indian Hawthorn
Romulea rosea	Onion Grass
Rosa rubiginosa	Sweet Briar
CaLP *Rubus fruticosus* spp. agg.	Blackberry
Sonchus oleraceus	Common Sow-thistle
Symphyotrichum subulatum	Aster-weed
Taraxacum officinale spp. agg.	Garden Dandelion
Trifolium dubium	Suckling Clover
Trifolium repens var. *repens*	White Clover
Vulpia spp.	Fescue

APPENDIX 2. EPBC ACT LISTED FLORA PREVIOUSLY RECORDED OR PREDICTED TO OCCUR WITHIN A FIVE KILOMETRE RADIUS OF THE STUDY AREA

LISTING:
***Environment Protection and Biodiversity Conservation Act* (EPBC Act):**

X	Extinct
CR	Critically Endangered
EN	Endangered
VU	Vulnerable
Habitat	Habitat predicted to occur within 5 kilometre radius

Likelihood of occurring: Recorded, Potential Habitat, Unlikely, No Habitat.
Source: Victorian Biodiversity Atlas (DEECA 2023c) and (**H**) = Potential habitat predicted by the Protected Matters Search Tool (DCCEWA 2023)

Scientific Name	Common Name	Total Records	EPBC Act	Likelihood of Occurrence
Eucalyptus strzeleckii	Strzelecki Gum	1141	VU	No habitat
Dianella amoena	Matted Flax-lily	1	EN	No habitat
Thelymitra epipactoides	Metallic Sun-orchid	-	EN	No habitat
Caladenia tessellata	Thick-lipped Spider-orchid	-	VU	No habitat
Pterostylis chlorogramma	Green-striped Greenhood	-	VU	No habitat
Thesium australe	Austral Toadflax	-	VU	No habitat
Xerochrysum palustre	Swamp Everlasting	-	VU	No habitat
Amphibromus fluitans	River Swamp Wallaby-grass	-	VU	No habitat
Glycine latrobeana	Clover Glycine	-	VU	No habitat
Senecio psilocarpus	Swamp Fireweed	-	VU	No habitat
Prasophyllum spicatum	Dense Leek-orchid	-	VU	No habitat

APPENDIX 3. EPBC ACT LISTED FAUNA SPECIES PREVIOUSLY RECORDED OR WITH POTENTIAL HABITAT WITHIN A FIVE KILOMETRE RADIUS OF THE STUDY AREA (EPBC ACT MIGRATORY AND MARINE SPECIES ARE EXCLUDED)

LISTING:
***Environment Protection and Biodiversity Conservation Act* (EPBC Act):**

X	Extinct
CR	Critically Endangered
EN	Endangered
VU	Vulnerable
Habitat	Habitat predicted to occur within 5 kilometre radius

Likelihood of occurring: Recorded, Potential Habitat, Unlikely, No Habitat.
Source: Victorian Biodiversity Atlas (DEECA 2023c) and (**H**) = Potential habitat predicted by the Protected Matters Search Tool (DCCEWA 2023)

Scientific Name	Common Name	Total Records	EPBC Act	Likelihood of Occurrence
Callocephalon fimbriatum	Gang-gang Cockatoo	17	EN	Possible flyover
Hirundapus caudacutus	White-throated Needletail	13	VU	Possible flyover
Neophema chrysostoma	Blue-winged Parrot	6	VU	Possible flyover
Galaxiella pusilla	Dwarf Galaxias	4	VU	No habitat
Litoria raniformis	Growling Grass Frog	4	VU	No habitat
Botaurus poiciloptilus	Australasian Bittern	1	EN	No habitat
Melanodryas cucullata	Hooded Robin	1	EN	No habitat
Petauroides volans	Southern Greater Glider	1	EN	No habitat
Anthochaera phrygia	Regent Honeyeater	-	CR	No habitat
Calidris ferruginea	Curlew Sandpiper	-	CR	No habitat
Lathamus discolor	Swift Parrot	-	CR	No habitat
Lissolepis coventryi	Swamp Skink	-	EN	No habitat
Dasyurus maculatus maculatus (SE mainland population)	Spot-tailed Quoll	-	EN	No habitat
Isoodon obesulus obesulus	Southern Brown Bandicoot (eastern)	-	EN	No habitat
Petauroides volans	Greater Glider (southern and central)	-	EN	No habitat

Scientific Name	Common Name	Total Records	EPBC Act	Likelihood of Occurrence
Melanodryas cucullata cucullata	South-eastern Hooded Robin,	-	EN	No habitat
Rostratula australis	Australian Painted Snipe	-	EN	No habitat
Delma impar	Striped Legless Lizard	-	VU	No habitat
Petaurus australis australis	Yellow-bellied Glider (south-eastern)	-	VU	No habitat
Potorous tridactylus trisulcatus	Long-nosed Potoroo (southern mainland)	-	VU	No habitat
Pteropus poliocephalus	Grey-headed Flying-fox	-	VU	No habitat
Prototroctes maraena	Australian Grayling	-	VU	No habitat
Calyptorhynchus lathami lathami	South-eastern Glossy Black-Cockatoo	-	VU	No habitat
Climacteris picumnus victoriae	Brown Treecreeper (south-eastern)	-	VU	No habitat
Falco hypoleucos	Grey Falcon	-	VU	Possible flyover
Grantiella picta	Painted Honeyeater	-	VU	Possible flyover
Pycnoptilus floccosus	Pilotbird	-	VU	No habitat
Stagonopleura guttata	Diamond Firetail	-	VU	Possible flyover

ESD REPORT

Client:	Community Housing Ltd
Project:	2 Tobruk Street, Morwell
Subject:	ESD Report
Date:	25/01/2024
Project Number:	GIW23093
Revision:	C

285 Lennox St / Richmond VIC 3121 / (t) 61 3 9044 5111 / giw.com.au

Introduction

The following ESD Report has been prepared for the proposed multi-residential development at 2 Tobruk Street, Morwell. This assessment responds to Homes Victoria – ESD requirements and Victoria Planning Provisions VC216 – 15.01-2S of the La Trobe Council Planning Scheme.

The development has been assessed using the Built Environment Sustainability Scorecard (BESS) tool. The BESS tool addresses nine key environmental categories as follows:

- Management
- Water
- Energy
- Stormwater
- IEQ
- Transport
- Waste
- Urban Ecology
- Innovation

Sources of Information

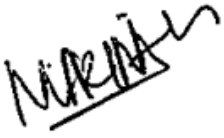
The ESD Report is based on the following documentation:

Architectural Drawings by:	Metricon
Job/Project No:	2 Tobruk Street, Morwell
Drawing No:	Sheets 01 - 12 (Rev 09)

Revision History

Revision Number	Date Issued	Author	Approved	Comments
A	02/11/2023	KE	IB	Final
B	18/12/2023	KE	GW	Final
C	25/01/2024	MS	GW	Final

Project Consultant



Mareena Saleem
Senior ESD Engineer

Project Team Lead

Gary Wertheimer
Director

ESD Assessment

The project achieves a BESS score of 55% with no mandatory category (IEQ, Energy, Water, Stormwater) below 50%. This figure represents a percentage improvement over a benchmark project, where 50% and higher equates to 'best practice' and is an effective pass of the BESS tool. A score of 70% and higher equates to BESS 'excellence' and exists as a higher benchmark in the tool.

The following ESD initiatives will be implemented in the proposed development at 2 Tobruk Street, Morwell. All initiatives are to be suitably incorporated in the project documentation i.e. architectural, landscape, hydraulics, and civil engineering.

BESS Category	ESD Initiatives
Management	• A Building User's Guide will be provided to the residents explaining the correct use of installed fittings and fixtures, equipment and building systems. • Electricity, and cold-water metering is to be provided to each townhouse.
Water	• Water efficient fixtures are applied throughout: o WELS 4 Star Toilets o WELS 5 Star Taps o WELS 4 Star Showerheads o WELS 5 Star Dishwashers o Options for a ≥3 Star Washing Machine will be included in the building user guide. • Water collected from the individual roofs will be directed into 27 x 5,000-litre rainwater tanks (totalling 135,000-litres). Each rainwater tank is to be connected to the toilets, laundries and landscape irrigation within its respective dwelling. Refer Appendix A – WSUD Response. • Landscape irrigation is to be connected to the rainwater tank.
Energy	• The proposed development will achieve a minimum 7 Stars NatHERS ratings for each residence. • The proposed development will be all electric with no gas connection. • External lighting will be controlled by motion detectors. • Lighting power density shall be as follows: o Dwelling: No greater than average 4W/m^2 o Veranda/balcony/terrace: No greater than average 3W/m^2 o Back of house and indoor car parks: No greater than average 5W/m^2 • Hot water is to be provided via individual heat pump hot water systems. • Inverter split system units are to be installed and sized to maintain conditions of the main living areas. Systems are to be within 1 star of the

BESS Category	ESD Initiatives
	best available under the post April 2012 Minimum Energy Performance Standards (MEPS). •□ The proposed development is to be provided with outdoor clothes lines to all private open spaces.
Stormwater	•□ A 103% STORM score is achieved. Refer Appendix A – WSUD Response for mark-up of collection and impervious areas, STORM Report and maintenance manual. Final system design TBC by Civil Engineering at detailed design.
IEQ	•□ Double glazing or better will be applied to all windows. •□ Shading strategy: o□ The dwellings have a minimum roof eave overhang of 450mm depth across all orientations. o□ The dwellings windows are appropriately sized to help balance solar heat gains, heat loss and cross ventilation and daylight amenity. •□ All living and bedroom areas are naturally cross ventilated with windows / doors on opposite or adjacent facades or effectively single sided ventilated. •□ >50% of dwellings living areas are oriented towards the north.
Transport	•□ The proposed development is in close proximity of Morwell Railway Station, and Route 1, 2, 20, 21 and 22 bus.
Materials	•□ The design seeks to limit the use of high embodied energy metal finishes. •□ At least 40% of coarse aggregate in the concrete is crushed slag aggregate or other alternative materials (measured by mass across all concrete mixes in the project). •□ The building's steel (by mass) is to be sourced from a Responsible Steel Maker. •□ Where timber is to be used, such timbers are to be FSC or PEFC certified. •□ Permanent formwork, pipes, flooring, blinds, and cables in the project will seek to comply with the following: o□ Meet the GBCA's Best Practice Guidelines for PVC. or; o□ The supplier holds a valid ISO140001 certification. •□ The project will incorporate products that meet the transparency and sustainability requirements where deemed appropriate.

BESS Category	ESD Initiatives
Waste	• At least 80% of the waste generated during construction and demolition has been diverted from landfill. • Adequate spatial provisioning within each POS for four-bin recycling system including: glass-only recycling, mixed recycling, green waste and general waste. • Kitchen joinery is to provide appropriate spatial allowance for four-bin waste sorting.
Urban Ecology	• 51% of the development site will be covered by vegetation.

Appendices

Appendix A – WSUD Response

Site layout Plan

The following architectural mark-up illustrates the rainwater collection and impervious areas of the proposed development site. We note that the proposed road and adjacent pedestrian paths will be Council asset and are therefore excluded from this assessment.

Figure 1 - Mark-up of water catchment and impervious areas

STORM Rating

A STORM rating of ≥100% can be achieved by implementing the following initiatives:

- Water collected from the individual roofs will be directed into 27 x 5,000-litre rainwater tanks (totalling 135,000-litres). Each rainwater tank is to be connected to the toilets, laundries and landscape irrigation within its respective dwelling.

Note: Public roadways and footpaths have been excluded from the STORM assessment.

Melbourne Water has developed the Stormwater Treatment Objective- Relative Measure (STORM) Calculator as a method of simplifying the analysis of stormwater treatment methods. The STORM Calculator displays the amount of treatment that is required to meet best practice targets, using WSUD treatment measures.

The best practice standards have been set out in the Urban Stormwater Best Practice Environmental Management Guidelines (Victoria Stormwater Committee, 1999) for reduction in total suspended solids (TSS), total phosphorus (TP) and total nitrogen (TN) loads.

The STORM Result is provided below:

Melbourne Water **STORM Rating Report**

TransactionID:	0	
Municipality:	LA TROBE	
Rainfall Station:	MORWELL	
Address:	2 Tobruk Street	
	Morwell	
	VIC	3840
Assessor:	GIW	
Development Type:	Residential - Subdivision	
Allotment Site (m2):	13,929.00	
STORM Rating %:	103	

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Roof Areas 1	1,881.00	Rainwater Tank	67,500.00	60	136.60	92.10
Impervious Area	579.00	None	0.00	0	0.00	0.00
Roof Areas 2	1,881.00	Rainwater Tank	67,500.00	50	129.00	94.90
Impervious Area POS	514.00	None	0.00	0	0.00	0.00

WSUD Strategy

The development will include the provision of 27 x 5,000-litre rainwater tanks (totalling 135,000-litres) and associated pump in the individual POS of each dwelling. Each rainwater tank is to be connected to the toilets, laundries and landscape irrigation within its respective dwelling.

Figure 2 – Location Rainwater Tanks (Typical)

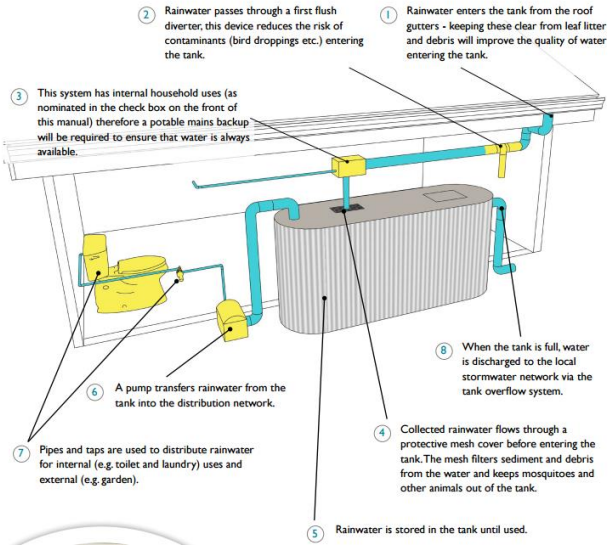


Figure 3 – Cross-section Tank
(City of Port Phillip)

Rainwater Reuse

Inputs

Catchment Area	3762	sqm
Number of Bedrooms	64	
Bin Washout	No	
Irrigation Area	2516	sqm
Tank Capacity	135,000	Litre

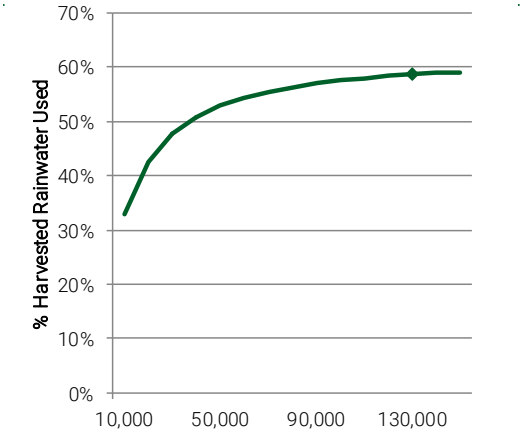
Outputs

% Served by Rainwater	39.3%	
% Harvested Rainwater Used	95.1%	
Total Potable Water Saved	1,308,189	Litre

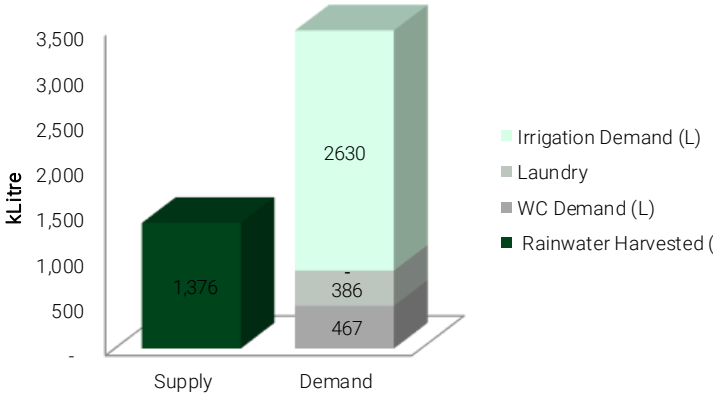
Rainwater Balance (Monthly Averages)

Month	Rainwater Harvested (L)	WC Demand (L)	Laundry (L)	Irrigation Demand (L)
Jan	96731	39680	32400	390409
Feb	114767	35840	29733	352570
Mar	105726	39680	32400	180423
Apr	120484	38400	32400	173109
May	107214	39680	32400	179204
Jun	109253	38400	32400	80938
Jul	81439	39680	32400	83202
Aug	108742	39680	32400	83202
Sep	110714	38400	32400	236588
Oct	127587	39680	32400	243206
Nov	166674	38400	32400	236588
Dec	126330	39680	32400	390409
Total	1375660	467200	386133	2629848
Equivalent STORM tool		64.00	52.89	

Tank Sizing



Supply-Demand



Site Management Statement

Prevention of litter, sediments and pollution entering the stormwater system in the construction phase is to be addressed through introduction of the following initiatives:

- Buffer strips to pervert stormwater runoff.
- Gravel sausage filters at stormwater inlets to prevent silt, mud or any other site contaminant from entering the stormwater system.
- Silt fences under grates at surface entry inlets to prevent sediment from entering the stormwater system.
- Temporary rumble grids to vibrate mud and dirt off vehicles prior to leaving the site.
- The site is to be kept clean from any loose rubbish or rubble.
- Introduction of offsite construction for building elements where deemed appropriate.

The builder is to include these initiatives in the construction management plan and address these during site induction of relevant contractors.

Maintenance Program

The following maintenance requirements are to be programmed to ensure the rainwater tank operates effectively:

Item	Description	Maintenance Interval
Gutters and downpipes	Eave and box gutters are to be inspected and cleaned to prevent large debris from being washed into rainwater tank.	3 monthly
First flush system (as applicable)	Inspect and clean excess sediment from diverter chamber to prevent blockages.	3 monthly
Tank contents	Siphon the tank to inspect contents. If sludge is present, a plumber will be required to drain tank contents and clean the tank.	2 to 3 years
Tank structure	Inspect tank externally for leaks	Yearly
Pump system	Inspect pump wiring, plumbing and check for smooth operation.	6 monthly
Plumbing	Plumbing and fixtures connected to the rainwater tank is to be inspected for leaks.	Yearly

Appendix B – BESS Assessment

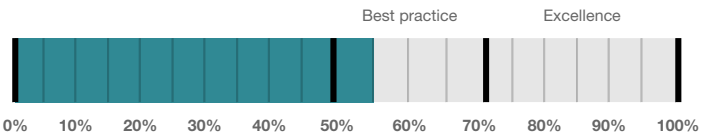
BESS Report

Built Environment Sustainability Scorecard

This BESS report outlines the sustainable design commitments of the proposed development at 2 Tobruk St Morwell Victoria 3840. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Yarra Ranges Shire Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

Your BESS Score

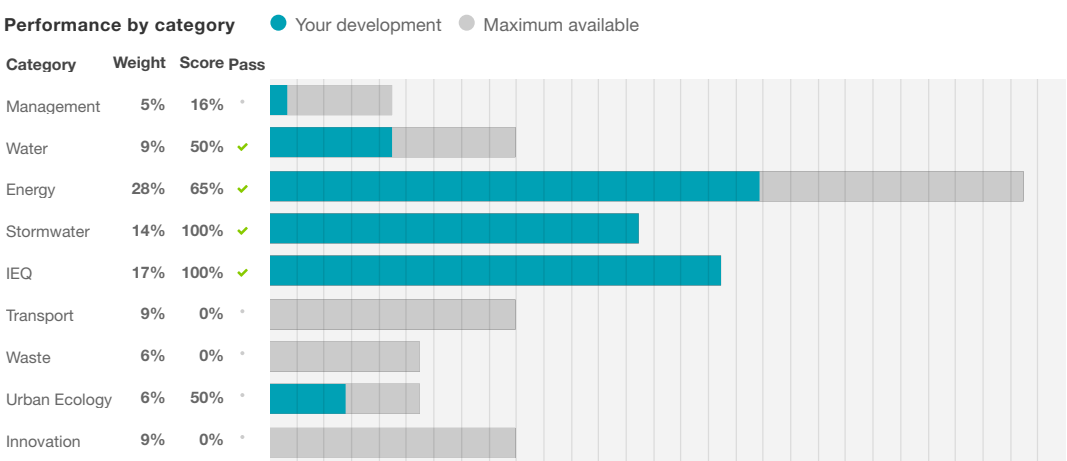


55%

Project details

Address	2 Tobruk St Morwell Victoria 3840
Project no	7CBF07E2-R4
BESS Version	BESS-7
Site type	Multi dwelling (dual occupancy, townhouse, villa unit etc)
Account	info@giw.com.au
Application no.	
Site area	13,929.00 m²
Building floor area	3,275.00 m²
Date	25 January 2024
Software version	1.8.1-B.407

Performance by category



Dwellings & Non Res Spaces

Dwellings

Name	Quantity	Area	% of total area
Townhouse			
Lucas 12	8	139 m²	33%
Milford 9	9	105 m²	28%
Milford 10	6	127 m²	23%
Argyle 13	4	114 m²	13%
Total	**27**	**3,275 m²**	**100%**

Supporting information

Floorplans & elevation notes

Credit	Requirement	Response	Status
Water 3.1	Annotation: Water efficient garden details		-
Energy 3.3	Annotation: External lighting controlled by motion sensors		-
Energy 3.4	Location of clothes line (if proposed)		-
Stormwater 1.1	Location of any stormwater management systems (rainwater tanks, raingardens, buffer strips)		-
IEQ 2.2	Annotation: Dwellings designed for 'natural cross flow ventilation' (If not all dwellings, include a list of compliant dwellings)		-
IEQ 3.1	Annotation: Glazing specification (U-value, SHGC)		-
IEQ 3.2	Adjustable shading systems		-
IEQ 3.3	North-facing living areas		-
Urban Ecology 2.1	Location and size of vegetated areas		-

Supporting evidence

Credit	Requirement	Response	Status
Energy 3.5	Average lighting power density and lighting type(s) to be used		-
Stormwater 1.1	STORM report or MUSIC model		-
IEQ 2.2	A list of dwellings with natural cross flow ventilation		-
IEQ 3.1	Reference to floor plans or energy modelling showing the glazing specification (U-value and Solar Heat Gain Coefficient, SHGC)		-
IEQ 3.2	Reference to floor plans and elevations showing shading devices		-
IEQ 3.3	Reference to the floor plans showing living areas orientated to the north		-

Credit summary

Management Overall contribution 4.5%

	16%
1.1 Pre-Application Meeting	0%
2.2 Thermal Performance Modelling - Multi-Dwelling Residential	0%
4.1 Building Users Guide	100%

Water Overall contribution 9.0%

	Minimum required 50%	50%	✔ Pass
1.1 Potable Water Use Reduction		40%	
3.1 Water Efficient Landscaping		100%	

Energy Overall contribution 27.5%

	Minimum required 50%	65%	✔ Pass
1.2 Thermal Performance Rating - Residential		50%	
2.1 Greenhouse Gas Emissions		100%	
2.2 Peak Demand		0%	
2.3 Electricity Consumption		100%	
2.4 Gas Consumption		N/A	Scoped Out
			No gas connection in use
2.5 Wood Consumption		N/A	Scoped Out
			No wood heating system present
2.6 Electrification		100%	
3.2 Hot Water		100%	
3.3 External Lighting		100%	
3.4 Clothes Drying		100%	
3.5 Internal Lighting - Houses and Townhouses		100%	
4.4 Renewable Energy Systems - Other		0%	⊘ Disabled
			No other (non-solar PV) renewable energy is in use.
4.5 Solar PV - Houses and Townhouses		0%	⊘ Disabled
			No solar PV renewable energy is in use.

Stormwater Overall contribution 13.5%

	Minimum required 100%	100%	✔ Pass
1.1 Stormwater Treatment		100%	

IEQ Overall contribution 16.5%

	Minimum required 50%	100%	✔ Pass
2.2 Cross Flow Ventilation		100%	
3.1 Thermal comfort - Double Glazing		100%	
3.2 Thermal Comfort - External Shading		100%	
3.3 Thermal Comfort - Orientation		100%	

Transport Overall contribution 9.0%

	0%
1.1 Bicycle Parking - Residential	0%
1.2 Bicycle Parking - Residential Visitor	0%
2.1 Electric Vehicle Infrastructure	0%

Waste Overall contribution 5.5%

	0%
1.1 - Construction Waste - Building Re-Use	0%
2.1 - Operational Waste - Food & Garden Waste	0%

Urban Ecology Overall contribution 5.5%

	50%
2.1 Vegetation	100%
2.2 Green Roofs	0%
2.3 Green Walls and Facades	0%
2.4 Private Open Space - Balcony / Courtyard Ecology	0%
3.1 Food Production - Residential	0%

Innovation Overall contribution 9.0%

	0%
1.1 Innovation	0%

Credit breakdown

Management Overall contribution 1%

1.1 Pre-Application Meeting		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?	
Question	Criteria Achieved ?	
Project	No	

2.2 Thermal Performance Modelling - Multi-Dwelling Residential		0%
Score Contribution	This credit contributes 33.3% towards the category score.	
Criteria	Have preliminary NatHERS ratings been undertaken for all thermally unique dwellings?	
Question	Criteria Achieved ?	
Townhouse	No	

4.1 Building Users Guide		100%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will a building users guide be produced and issued to occupants?	
Question	Criteria Achieved ?	
Project	Yes	

Water

Overall contribution 4% Minimum required 50%

Water Approach	
What approach do you want to use for Water?:	Use the built in calculation tools
Project Water Profile Question	
Do you have a reticulated third pipe or an on-site water recycling system?:	No
Are you installing a swimming pool?:	No
Are you installing a rainwater tank?:	Yes
Water fixtures, fittings and connections	
Showerhead: All	4 Star WELS (>= 6.0 but <= 7.5)
Bath: All	Scope out
Kitchen Taps: All	>= 5 Star WELS rating
Bathroom Taps: All	>= 5 Star WELS rating
Dishwashers: All	>= 5 Star WELS rating
WC: All	>= 4 Star WELS rating
Urinals: All	Scope out
Washing Machine Water Efficiency: All	Occupant to Install
Which non-potable water source is the dwelling/space connected to?: All	-1
Non-potable water source connected to Toilets: All	No
Non-potable water source connected to Laundry (washing machine): All	No
Non-potable water source connected to Hot Water System: All	No
Rainwater Tank	
What is the total roof area connected to the rainwater tank?: Tanks (5kL per dwelling)	3,762 m²
Tank Size: Tanks (5kL per dwelling)	135,000 Litres
Irrigation area connected to tank: Tanks (5kL per dwelling)	2,516 m²
Is connected irrigation area a water efficient garden?: Tanks (5kL per dwelling)	Yes
Other external water demand connected to tank?: Tanks (5kL per dwelling)	-

1.1 Potable Water Use Reduction	40%
Score Contribution	This credit contributes 83.3% towards the category score.
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.
Output	Reference
Project	5454 kL
Output	Proposed (excluding rainwater and recycled water use)
Project	4587 kL
Output	Proposed (including rainwater and recycled water use)
Project	3529 kL
Output	% Reduction in Potable Water Consumption
Project	35 %
Output	% of connected demand met by rainwater
Project	95 %
Output	How often does the tank overflow?
Project	Often
Output	Opportunity for additional rainwater connection
Project	2082 kL

3.1 Water Efficient Landscaping	100%
Score Contribution	This credit contributes 16.7% towards the category score.
Criteria	Will water efficient landscaping be installed?
Question	Criteria Achieved ?
Project	Yes

Energy

Overall contribution 18% Minimum required 50%

Dwellings Energy Approach	
What approach do you want to use for Energy?:	Use the built in calculation tools

Project Energy Profile Question	
Are you installing any solar photovoltaic (PV) system(s)?:	No
Are you installing any other renewable energy system(s)?:	No
Energy Supply:	All-electric

Dwelling Energy Profiles	
Below the floor is: All	Ground or Carpark
Above the ceiling is: All	Outside
Exposed sides: All	4
NatHERS Annual Energy Loads - Heat: All	100 MJ/sqm
NatHERS Annual Energy Loads - Cool: All	30.0 MJ/sqm
NatHERS star rating: All	7.0
Type of Heating System: All	Reverse cycle space
Heating System Efficiency: All	3 Star
Type of Cooling System: All	Refrigerative space
Cooling System Efficiency: All	3 Stars
Type of Hot Water System: All	Electric Heat Pump Band 1
Clothes Line: All	Private outdoor clothesline
Clothes Dryer: All	Occupant to Install

1.2 Thermal Performance Rating - Residential 50%

Score Contribution	This credit contributes 30.0% towards the category score.
Criteria	What is the average NatHERS rating?
Output	Average NATHERS Rating (Weighted)
Townhouse	7.0 Stars

2.1 Greenhouse Gas Emissions 100%

Score Contribution	This credit contributes 10.0% towards the category score.
Criteria	What is the % reduction in annual greenhouse gas emissions against the benchmark?
Output	Reference Building with Reference Services (BCA only)
Townhouse	245,024 kg CO2
Output	Proposed Building with Proposed Services (Actual Building)
Townhouse	78,418 kg CO2
Output	% Reduction in GHG Emissions
Townhouse	67 %

2.2 Peak Demand		0%	
Score Contribution	This credit contributes 5.0% towards the category score.		
Criteria	What is the % reduction in the instantaneous (peak-hour) demand against the benchmark?		
Output	Peak Thermal Cooling Load - Baseline		
Townhouse	355 kW		
Output	Peak Thermal Cooling Load - Proposed		
Townhouse	364 kW		
Output	Peak Thermal Cooling Load - % Reduction		
Townhouse	-3 %		
2.3 Electricity Consumption		100%	
Score Contribution	This credit contributes 10.0% towards the category score.		
Criteria	What is the % reduction in annual electricity consumption against the benchmark?		
Output	Reference		
Townhouse	240,219 kWh		
Output	Proposed		
Townhouse	76,880 kWh		
Output	Improvement		
Townhouse	67 %		
2.4 Gas Consumption		N/A	Scoped Out
This credit was scoped out	No gas connection in use		
2.5 Wood Consumption		N/A	Scoped Out
This credit was scoped out	No wood heating system present		
2.6 Electrification		100%	
Score Contribution	This credit contributes 10.0% towards the category score.		
Criteria	Is the development all-electric?		
Question	Criteria Achieved?		
Project	Yes		
3.2 Hot Water		100%	
Score Contribution	This credit contributes 5.0% towards the category score.		
Criteria	What is the % reduction in annual energy consumption (gas and electricity) of the hot water system against the benchmark?		
Output	Reference		
Townhouse	332,036 MJ		
Output	Proposed		
Townhouse	89,711 MJ		
Output	Improvement		
Townhouse	72 %		

3.3 External Lighting		100%	
Score Contribution	This credit contributes 5.0% towards the category score.		
Criteria	Is the external lighting controlled by a motion detector?		
Question	Criteria Achieved ?		
Townhouse	Yes		
3.4 Clothes Drying		100%	
Score Contribution	This credit contributes 5.0% towards the category score.		
Criteria	What is the % reduction in annual energy consumption (gas and electricity) from a combination of clothes lines and efficient driers against the benchmark?		
Output	Reference		
Townhouse	16,455 kWh		
Output	Proposed		
Townhouse	3,291 kWh		
Output	Improvement		
Townhouse	80 %		
3.5 Internal Lighting - Houses and Townhouses		100%	
Score Contribution	This credit contributes 5.0% towards the category score.		
Criteria	Does the development achieve a maximum illumination power density of 4W/sqm or less?		
Question	Criteria Achieved?		
Townhouse	Yes		
4.4 Renewable Energy Systems - Other		0%	⊘ Disabled
This credit is disabled	No other (non-solar PV) renewable energy is in use.		
4.5 Solar PV - Houses and Townhouses		0%	⊘ Disabled
This credit is disabled	No solar PV renewable energy is in use.		

Stormwater

Overall contribution 14% Minimum required 100%

Which stormwater modelling are you using?:	Melbourne Water STORM tool		
1.1 Stormwater Treatment		100%	
Score Contribution	This credit contributes 100.0% towards the category score.		
Criteria	Has best practice stormwater management been demonstrated?		
Question	STORM score achieved		
Project	103		
Output	Min STORM Score		
Project	100		

IEQ

Overall contribution 16% Minimum required 50%

2.2 Cross Flow Ventilation	100%
Score Contribution	This credit contributes 20.0% towards the category score.
Criteria	Are all habitable rooms designed to achieve natural cross flow ventilation?
Question	Criteria Achieved ?
Townhouse	Yes

3.1 Thermal comfort - Double Glazing	100%
Score Contribution	This credit contributes 40.0% towards the category score.
Criteria	Is double glazing (or better) used to all habitable areas?
Question	Criteria Achieved ?
Townhouse	Yes

3.2 Thermal Comfort - External Shading	100%
Score Contribution	This credit contributes 20.0% towards the category score.
Criteria	Is appropriate external shading provided to east, west and north facing glazing?
Question	Criteria Achieved ?
Townhouse	Yes

3.3 Thermal Comfort - Orientation	100%
Score Contribution	This credit contributes 20.0% towards the category score.
Criteria	Are at least 50% of living areas orientated to the north?
Question	Criteria Achieved ?
Townhouse	Yes

Transport

Overall contribution 0%

1.1 Bicycle Parking - Residential	0%
Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	How many secure and undercover bicycle spaces are there per dwelling for residents?
Question	Bicycle Spaces Provided ?
Townhouse	0

1.2 Bicycle Parking - Residential Visitor	0%
Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	How many secure bicycle spaces are there per 5 dwellings for visitors?
Question	Visitor Bicycle Spaces Provided ?
Townhouse	0

2.1 Electric Vehicle Infrastructure	0%
Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	Are facilities provided for the charging of electric vehicles?
Question	Criteria Achieved ?
Project	No

Waste Overall contribution 0%

1.1 - Construction Waste - Building Re-Use	0%
Score Contribution	This credit contributes 50.0% towards the category score.
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?
Question	Criteria Achieved ?
Project	No

2.1 - Operational Waste - Food & Garden Waste	0%
Score Contribution	This credit contributes 50.0% towards the category score.
Criteria	Are facilities provided for on-site management of food and garden waste?
Question	Criteria Achieved ?
Project	No

Urban Ecology Overall contribution 3%

2.1 Vegetation	100%
Score Contribution	This credit contributes 50.0% towards the category score.
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?
Question	Percentage Achieved ?
Project	51 %

2.2 Green Roofs	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green roof?
Question	Criteria Achieved ?
Project	No

2.3 Green Walls and Facades	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green wall or green façade?
Question	Criteria Achieved ?
Project	No

2.4 Private Open Space - Balcony / Courtyard Ecology	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Is there a tap and floor waste on every balcony / in every courtyard?
Question	Criteria Achieved ?
Townhouse	No

3.1 Food Production - Residential	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	What area of space per resident is dedicated to food production?
Question	Food Production Area
Townhouse	0.0 m^2
Output	Min Food Production Area
Townhouse	19 m^2

Innovation Overall contribution 0%

1.1 Innovation	0%
Score Contribution	This credit contributes 100.0% towards the category score.
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?

Disclaimer

The Built Environment Sustainability Scorecard (BESS) has been provided for the purpose of information and communication. While we make every effort to ensure that material is accurate and up to date (except where denoted as 'archival'), this material does in no way constitute the provision of professional or specific advice. You should seek appropriate, independent, professional advice before acting on any of the areas covered by BESS.

PLANNING and ENVIRONMENT ACT
LATROBE PLANNING SCHEME

CONSENT UNDER CLAUSE 52.20
VPP2402017
ENDORSED PLAN
Sheet 1 of 10
Signed: for
MINISTER FOR PLANNING
Date: 9 MAY 2024

LEGEND

- COMPACTED GRANITE SCREENINGS
- DROUGHT TOLERANT TURF GRASS
  BUFFALO OR SIMILAR
- PERMEABLE CONCRETE PATH
- CHARCOAL COLOURED CONCRETE
- MULCHED GARDEN BED
  MULCH: 'DYED-BLACK' FINE PINE BARK
  (MIN. 60MM DEEP)
  TOPSOIL: 'SANDY LOAM (MIN. 250MM DEEP)
- PALING FENCE
  1.8M UNLESS STATED OTHER WISE
- GARDEN EDGING
  75 x 25mm TREATED PINE EDGING
- RUBBISH BINS (B R)
- CLOTHES LINE
- RETAINING WALL
- 900MM HIGH MAX . LETTER BOX
- TREES REMOVED
  AS PER ARBORIST REPORT
- WATER TANK FOR IRRIGATION

NOTES

- ALL LEVELS ARE TO A.H.D.
- PROPOSED INTERNAL FENCING TO BE 1.8M HIGH TIMBER PALINGS UNLESS OTHERWISE NOTED.
- ALL BOUNDARY FENCES ARE EXISTING AND ARE TO REMAIN (EXCEPT WHERE WALL PROPOSED ON BOUNDARY).
- ALL LANDSCAPING SHOWN IS CONCEPTUAL AND INDICATIVE ONLY.
- 6 CUBIC METERS OF STORAGE IS PROVIDED WITHIN GARDEN SHED UNLESS OTHERWISE NOTED.
- UNLESS SPECIFIED OTHERWISE, ALL STEP TREADS ARE TO BE 320 - 350MM DEEP. STEP RISERS TO BE MAXIMUM 180MM HIGH.

LANDSCAPE CONSTRUCTION SPECIFICATIONS

SUBGRADE PREPARATION:
SITE PREPARATION TO BE CARRIED OUT UNDER SUITABLE CONDITIONS AN IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE. THE USE OF MACHINERY AN TOOLS THAT MAY DAMAGE SOIL STRUCTURE IS NOT ACCEPTABLE.
GARDEN BED AND LAWN SUB-GRADE IS CULTIVATED TO A DEPTH OF 150MM AN SHAPED TO ACHIEVE DRAINAGE FALL PRIOR TO ADDING TOPSOIL . IF GYPSUM IS REQUIRED, THIS IS TO BE APPLIED AT THE RATE OF 1KG/M2 AND INCORPORATED AS PART OF CULTIVATIONS
WEEDS ARE TO BE REMOVED PRIOR TO SUB-GRADE PREPARATION, TOP-SOILING AN PLANTING.

SOIL PREPARATION:
IMPORTED TOPSOIL IS TO BE SUPPLIED BY AN APPROVED SUPPLIER TO A DEPTH OF APPROXIMATELY 100MM (AS REQUIRED). FOR GARDEN BEDS, DO NOT SPREAD IN MUDDY CONDITIONS. THE TOPSOIL IS TO BE LIGHT TO MEDIUM FRIABLE LOAM (CAPABLE OF BEING COMPRESSED INTO A BALL BY HAND WHEN MOIST YET CAN BE BROKEN APART IMMEDIATELY AFTER) ITS PH WILL BE 6.0 - 7.0 AN FREE FROM PERENNIAL WEEDS AN BUILDING RUBBLE. THE FINISHED TOP LEVEL AFTER SETTLEMENT SHOULD BE 75MM BELOW THE EDGING LEVEL TO ALLOW FOR MULCH. IMPORTED TOPSOIL FOR LAWN AREAS TO BE SUPPLIED TO A DEPTH OF APPROXIMATELY 100MM (OR AS REQUIRED).

TIMBER EDGING:
TIMBER EDGING TO BE INSTALLED TO SEPARATE ALL LAWN, PLANTING AREAS AN LILYDALE TOPPING/PEBBLE AREAS. THE TREATED PINE TIMBER IS TO BE 75MM X 25MM IN SIZE, SECURED WITH 300MM LONG STAKES AT 1000MM SPACINGS.

PLANTS AN PLANTING:
ALL PLANTS SUPPLIED AND ARE TO BE HEALTHY AN FREE FROM INSECTS, DISEASES AN WEEDS. THE POT SIZE INDICATED IN THE PLANT SCHEDULE ARE THE MINIMUM SIZE TO BE SUPPLIED AN INSTALLED.
WHEN EACH PLANTING AREA IS PREPARED, IF SOIL IS DRY, FILL WITH WATER AND ALLOW TO DRAIN AWAY COMPLETELY. PLANTS ROOTS ARE TO BE TEASED OUTWARDS IF ROOTS ARE MATTED IN POT. PLACE PLANT IN CENTRE OF HOLE AN ENSURE THAT THE TOP OF THE ROOTBALL IS FLUSH WITH THE SURROUNDING SOIL SURFACE AN THE TRUCK IS BACKFILLED.
TREES ARE TO BE STAKED WITH TWO HARDWOOD STAKES DRIVEN FIRMLY INTO THE GROUND BUT NOT THROUGH THE ROOTBALL . TREES ARE TO BE SECURED TO THE STAKES WITH STRONG BUT FLEXABLE TREE TIES THAT ARE TIGHT ENOUGH TO SUPPORT THE TREES IN WINDY CONDITIONS BUT LOOSE ENOUGH TO SIMULATE GOOD TREE GROWTH AN DEVELOPMENT. THE TREE TIES MUST NOT INJURE TREE BARK OR RESTRICT TREE GROWTH FOR AT LEAST THE FIRST THREE YEARS OF TREE GROWTH.
ALL PLANTS ARE TO BE WATERED IMMEDIATELY AFTER PLANTING AN REGULARLY AS REQUIRED TO ALLOW FOR HEALTHY GROWTH. MULCH IS TO BE KEPT AWAY FROM THE PLANT TRUNKS AN THEN WATERE IMMEDIATELY . A LAYER OF AGED ORGANIC MULCH TO A MINIMUM DEPTH OF 75MM IS TO BE APPLIED TO ALL PLANTING AREAS AFTER PLANTING IS COMPLETED

DRAINAGE:
SURFACE AN SUB-SURFACE DRAINAGE IS TO BE SPECIFIED BY A CERTIFIED CONSULTING ENGINEER.

MACA DESIGN CO.

LANDSCAPE PLAN

OVERALL LANDSCAPE

2 TOBRUK STREET -MORWELL - VIC

EVERYONE
A DIVISION OF METRICON

REVISION: V3A
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LEGEND

- DROUGHT TOLERANT TURF GRASS — BUFFALO OR SIMILAR
- MULCHED GARDEN BED — MULCH: DYED BLACK/ FINE PINE BARK (MIN. 80MM DEEP) TOPSOIL: 'SANDY LOAM (MIN. 250MM DEEP)
- PALING FENCE — 1.8M UNLESS STATED OTHER WISE
- GARDEN EDGING — 75 x 25mm TREATED PINE EDGING
- EXISTING TREES REMOVED AS PER ARBORIST REPORT

NOTES

- ALL LEVELS ARE TO A.H.D.
- PROPOSED INTERNAL FENCING TO BE 1.8M HIGH TIMBER PALINGS UNLESS OTHERWISE NOTED.
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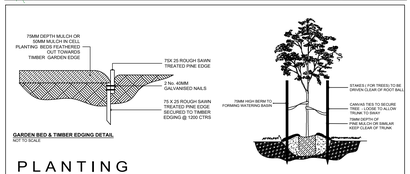
- 6 CUBIC METERS OF STORAGE IS PROVIDED WITHIN GARDEN SHED UNLESS OTHERWISE NOTED.
- UNLESS SPECIFIED OTHERWISE, ALL STEP TREADS ARE TO BE 320 - 350MM DEEP. STEP RISERS TO BE MAXIMUM 180MM HIGH.

PLANTING SCHEDULE

	SPECIES	COMMON NAME	POT SIZE	H X W	QTY.
	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	CREPE MYRTLE	45L (MIN. 1.5m HIGH PLANTED)	8 X 6M	16
	ACACIA IMPLEXA	LIGHT WOOD	45L (MIN. 1.5m HIGH PLANTED)	10 X 4M	16
	CALLISTEMON 'KINGS PARK SPECIAL'	BOTTLE BRUSH	45L (MIN. 1.5m HIGH PLANTED)	2-4 X 2-4M	15
	DIETES GRANDIFLORA	WILD IRIS	140M	1.0-1 X 1.0M	14



GARDEN BED & TIMBER EDGING DETAIL
NOT TO SCALE

TYPICAL TREE/SHRUB PLANTING DETAIL
NOT TO SCALE

PLANTING DETAILS

LANDSCAPE CONSTRUCTION SPECIFICATIONS

SUBGRADE PREPARATION:
SITE PREPARATION TO BE CARRIED OUT UNDER SUITABLE CONDITIONS AN IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE. THE USE OF MACHINERY AN TOOLS THAT MAY DAMAGE SOIL STRUCTURE IS NOT ACCEPTABLE.
GARDEN BED AND LAWN SUB-GRADE IS CULTIVATED TO A DEPTH OF 150MM AN SHAPED TO ACHIEVE DRAINAGE FALL PRIOR TO ADDING TOPSOIL . IF GYPSUM IS REQUIRED, THIS IS TO BE DISTRIBUTED AND CULTIVATED INTO THE SUB-GRADE AS PER THE MANUFACTURER'S INSTRUCTIONS.
WEEDS ARE TO BE REMOVED PRIOR TO SUB-GRADE PREPARATION, TOP-SOILING AN PLANTING.

SOIL PREPARATION:
IMPORTED TOPSOIL IS TO BE SUPPLIED BY AN APPROVED SUPPLIER TO A DEPTH OF APPROXIMATELY 100MM (AS REQUIRED) FOR GARDEN BEDS. DO NOT SPREAD IN MUDDY CONDITIONS. THE TOPSOIL IS TO BE LIGHT TO MEDIUM FRIABLE LOAM (CAPABLE OF BEING COMPRESSED INTO A BALL BY HAND WHEN MOIST YET CAN BE BROKEN APART IMMEDIATELY AFTER) ITS PH WILL BE 6.0 - 7.0 AN FREE FROM PERENNIAL WEEDS AN BUILDING RUBBLE. THE FINISHED TOP LEVEL AFTER SETTLEMENT SHOULD BE 75MM BELOW THE EDGING LEVEL TO ALLOW FOR MULCH. IMPORTED TOPSOIL FOR LAWN AREAS TO BE SUPPLIED TO A DEPTH OF APPROXIMATELY 100MM (OR AS REQUIRED).

TIMBER EDGING:
TIMBER EDGING TO BE INSTALLED TO SEPARATE ALL LAWN, PLANTING AREAS AN LILYDALE TOPPING/PEBBLE AREAS. THE TREATED PINE TIMBER IS TO BE 75MM X 25MM IN SIZE, SECURED WITH 300MM LONG STAKES AT 1000MM SPACINGS.

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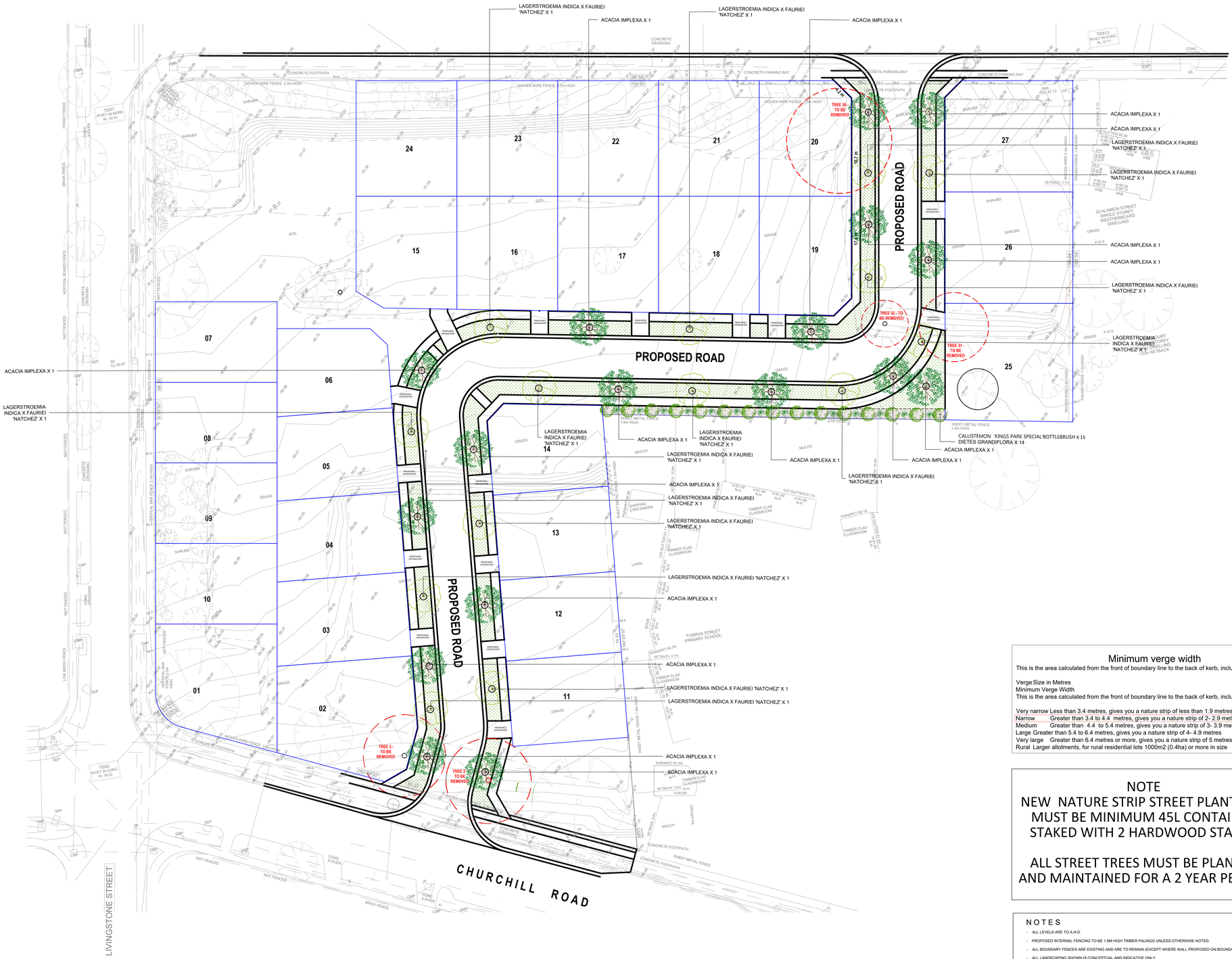

Minimum verge width

This is the area calculated from the front of boundary line to the back of kerb, including any footpath.

Verge Size in Metres
Minimum Verge Width
This is the area calculated from the front of boundary line to the back of kerb, including any footpath

Very narrow	Less than 3.4 metres, gives you a nature strip of less than 1.9 metres
Narrow	Greater than 3.4 to 4.4 metres, gives you a nature strip of 2- 2.9 metres
Medium	Greater than 4.4 to 5.4 metres, gives you a nature strip of 3- 3.9 metres
Large	Greater than 5.4 to 6.4 metres, gives you a nature strip of 4- 4.9 metres
Very large	Greater than 6.4 metres or more, gives you a nature strip of 5 metres plus
Rural	Larger allotments, for rural residential lots 1000m2 (0.4ha) or more in size

NOTE
NEW NATURE STRIP STREET PLANTINGS MUST BE MINIMUM 45L CONTAINER STAKED WITH 2 HARDWOOD STAKES.

ALL STREET TREES MUST BE PLANTED AND MAINTAINED FOR A 2 YEAR PERIOD.

NOTES

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MACA DESIGN CO.

LANDSCAPE PLAN
PROPOSED ROAD STREETSCAPE
2 TOBRUK STREET - MORWELL - VIC

EVERYONE — A DIVISION OF METRICON

REVISION: V3
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LEGEND

- COMPACTED GRANITE SCREENINGS
- DROUGHT TOLERANT TURF GRASS
  BUFFALO OR SIMILAR
- PERMEABLE CONCRETE DRIVEWAY
- CHARCOAL COLOURED CONCRETE
- MULCHED GARDEN BED
  MULCH: 'DYED-BLACK' FINE PINE BARK
  (MIN. 80MM DEEP)
  TOPSOIL: 'SANDY LOAM (MIN. 250MM DEEP)
- PALING FENCE
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- GARDEN EDGING
  75 x 25mm TREATED PINE EDGING
- RUBBISH BINS (B R)
- CLOTHES LINE
- RETAINING WALL AS PER
  HOUSE CONSTRUCTION DRAWINGS
- 900MM HIGH MAX . LETTER BOX
- TREES REMOVED
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PLANTING SCHEDULE

	SPECIES	COMMON NAME	POT SIZE	H X W (MATURITY)	QTY.
	WESTRINGIA FRUTICOSA GREY BOX	COASTAL ROSEMARY	14CM	1.0X 1.0M	11
	DIANELLA LITTLE REV	FLAX-LILY	14CM	0.6X0.6M	42
	CORREA PULCHELLA X REFLEXA	CORREA 'DUSKY BELLS'	14CM	0.6 X 2M	8
	LOMANDRA CONFERTIFOLIA 'LITTLE CON'	LOMANDRA 'LITTLE CON'	14CM	0.6 X 0.6M	28
	TRISTANIOPSIS LAURINA	KANOOKA GUM	25CM (1.5M TALL WHEN PLANTED)	12-15 X 4-6M	2
	EUCALYPTUS MELLIODORA	YELLOW BOX	40L (2.0M TALL WHEN PLANTED)	10-15 X 8-10M	2
	LOMANDRA LONGIFOLIA	SPINY HEADED MAT RUSH	14CM	1.2-1 X 1.0M	32
	MYOPORUM PARVIFOLIUM	CREEPING BOOBIALLA	14CM	0.15 X 1.0M	12
	MAGNOLIA GRANDIFLORA LITTLE GEM	DWARF MAGNOLIA	25CM (1.5M TALL WHEN PLANTED)	5 X 2.5M	2
	PYRUS CALLERYANA CHANTICLEER	BRADFORD PEAR	25CM (1.5M TALL WHEN PLANTED)	11 X 6M	3
	ACACIA MELANOXYLON	BLACKWOOD WATTLE	40CM (2.0M TALL WHEN PLANTED)	12-15 X 5M	3

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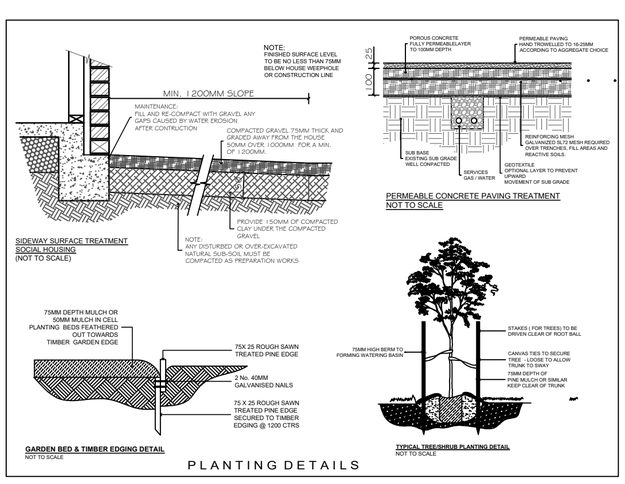

PLANTING DETAILS

NORTH

LANDSCAPE PLAN

HOUSE 2 - 6

2 TOBRUK STREET - MORWELL - VIC

MACA DESIGN CO.

EVERYONE
A DIVISION OF METRICON

REVISION: V3
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LEGEND

- COMPACTED GRANITE SCREENINGS
- DROUGHT TOLERANT TURF GRASS
  BUFFALO OR SIMILAR
- PERMEABLE CONCRETE DRIVEWAY
- CHARCOAL COLOURED CONCRETE
- MULCHED GARDEN BED
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	CORREA PULCHELLA X REFLEXA	CORREA 'DUSKY BELLS'	14CM	0.6 X 2M	13
	LOMANDRA CONFERTIFOLIA 'LITTLE CON'	LOMANDRA 'LITTLE CON'	14CM	0.6 X 0.6M	36
	TRISTANIOPSIS LAURINA	KANOOKA GUM	40L (2.0M TALL WHEN PLANTED)	12-15 X 4-6M	3
	EUCALYPTUS MELLIODORA	YELLOW BOX	40L (2.0M TALL WHEN PLANTED)	10-15 X 8-10M	4
	LOMANDRA LONGIFOLIA	SPINY HEADED MAT RUSH	14CM	1.2-1 X 1.0M	46
	MYOPORUM PARVIFOLIUM	CREEPING BOOBIALLA	14CM	0.15 X 1.0M	30
	MAGNOLIA GRANDIFLORA LITTLE GEM	DWARF MAGNOLIA	40L (2.0M TALL WHEN PLANTED)	5 X 2.5M	4
	PYRUS CALLERYANA CHANTICLEER	BRADFORD PEAR	40L (2.0M TALL WHEN PLANTED)	11 X 6M	2
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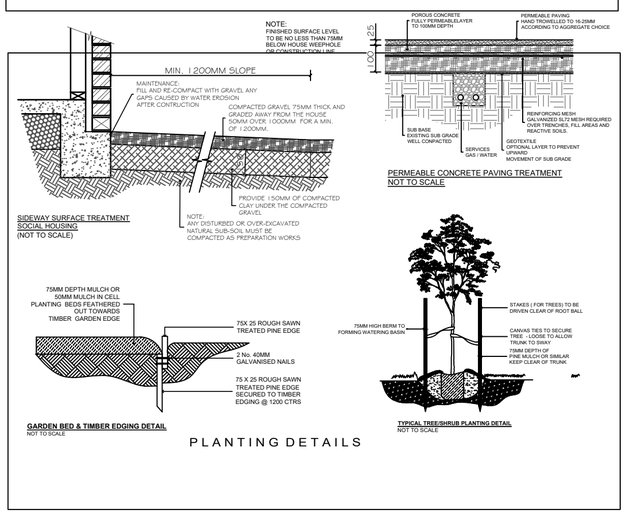
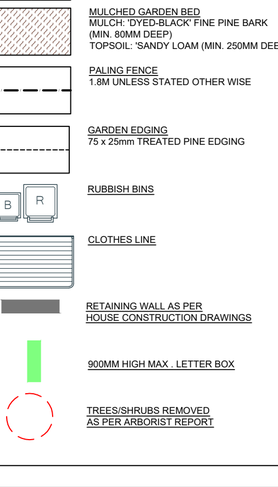
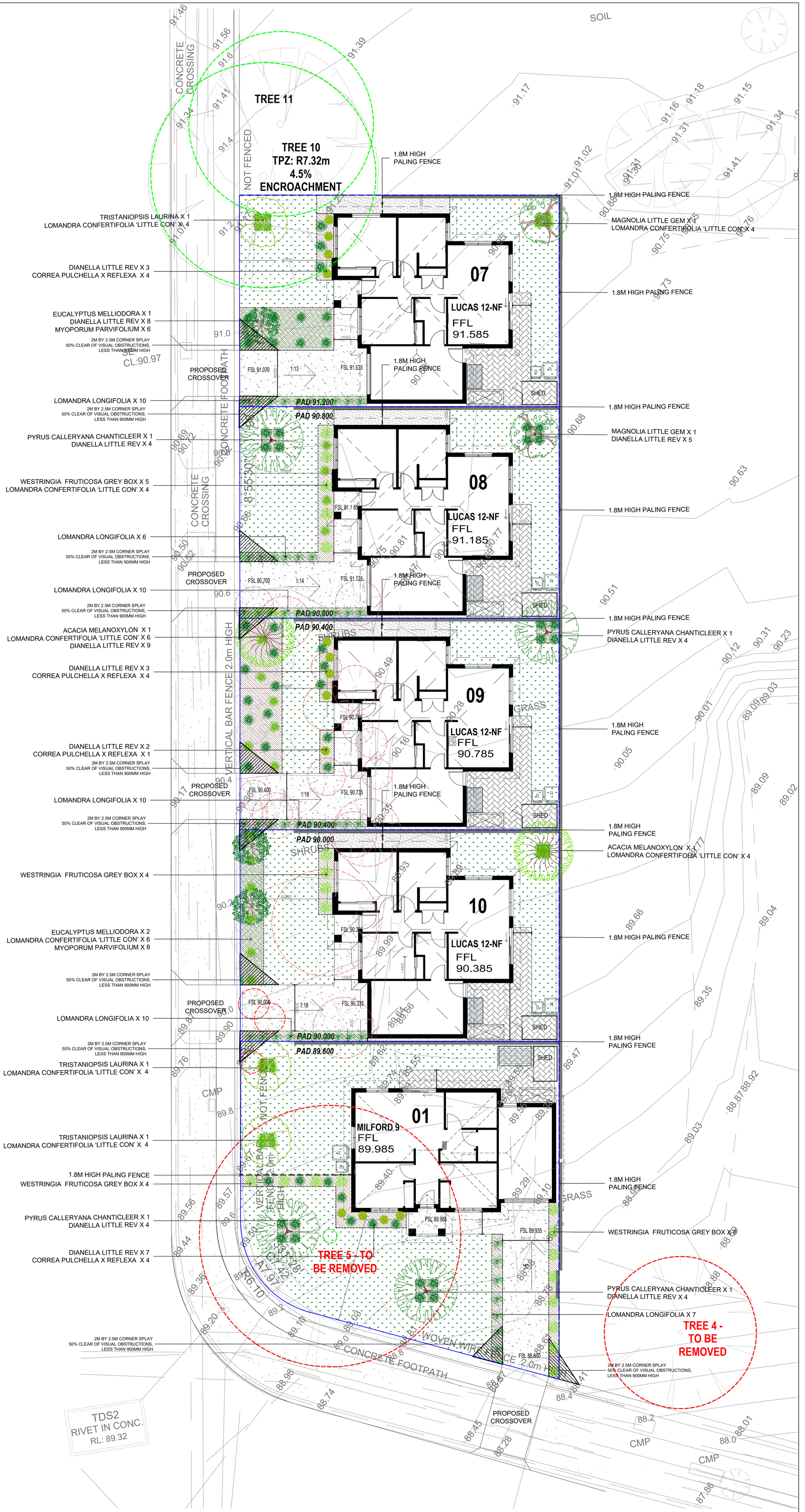


PLANTING DETAILS





LANDSCAPE PLAN

HOUSE 1 & 7 - 10

2 TOBRUK STREET - MORWELL - VIC

MACA DESIGN CO.

EVERYONE
A DIVISION OF METRICON

REVISION: V3
SCALE: 1:125 @ A1
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LEGEND

- COMPACTED GRANITE SCREENINGS
- DROUGHT TOLERANT TURF GRASS
  BUFFALO OR SIMILAR
- PERMEABLE CONCRETE DRIVEWAY
- CHARCOAL COLOURED CONCRETE
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	CORREA PULCHELLA X REFLEXA	CORREA 'DUSKY BELLS'	14CM	0.6 X 2M	4
	LOMANDRA CONFERTIFOLIA 'LITTLE CON'	LOMANDRA 'LITTLE CON'	14CM	0.6 X 0.6M	20
	TRISTANIOPSIS LAURINA	KANOOKA GUM	40CM (2.0M TALL WHEN PLANTED)	12-15 X 4-6M	2
	EUCALYPTUS MELLIODORA	YELLOW BOX	40CM (2.0M TALL WHEN PLANTED)	10-15 X 8-10M	2
	LOMANDRA LONGIFOLIA	SPINY HEADED MAT RUSH	14CM	1.2-1 X 1.0M	17
	MYOPORUM PARVIFOLIUM	CREEPING BOOBIALLA	14CM	0.15 X 1.0M	18
	MAGNOLIA GRANDIFLORA LITTLE GEM	DWARF MAGNOLIA	40CM (2.0M TALL WHEN PLANTED)	5 X 2.5M	4
	PYRUS CALLERYANA CHANTICLEER	BRADFORD PEAR	40CM (2.0M TALL WHEN PLANTED)	11 X 6M	3
	ACACIA MELANOXYLON	BLACKWOOD WATTLE	40CM (2.0M TALL WHEN PLANTED)	12-15 X 5M	2

LANDSCAPE CONSTRUCTION SPECIFICATIONS

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TIMBER EDGING TO BE INSTALLED TO SEPARATE ALL LAWN, PLANTING AREAS AN LILYDALE TOPPING/PEBBLE AREAS. THE TREATED PINE TIMBER IS TO BE 75MM X 25MM IN SIZE, SECURED WITH 300MM LONG STAKES AT 1000MM SPACINGS.

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DRAINAGE:
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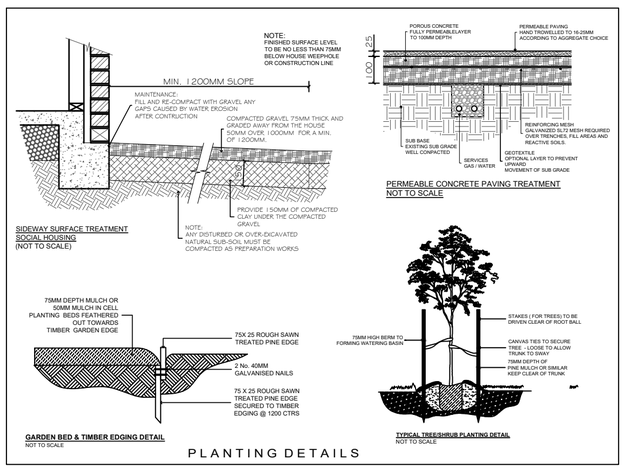


PLANTING DETAILS

MACA DESIGN CO.

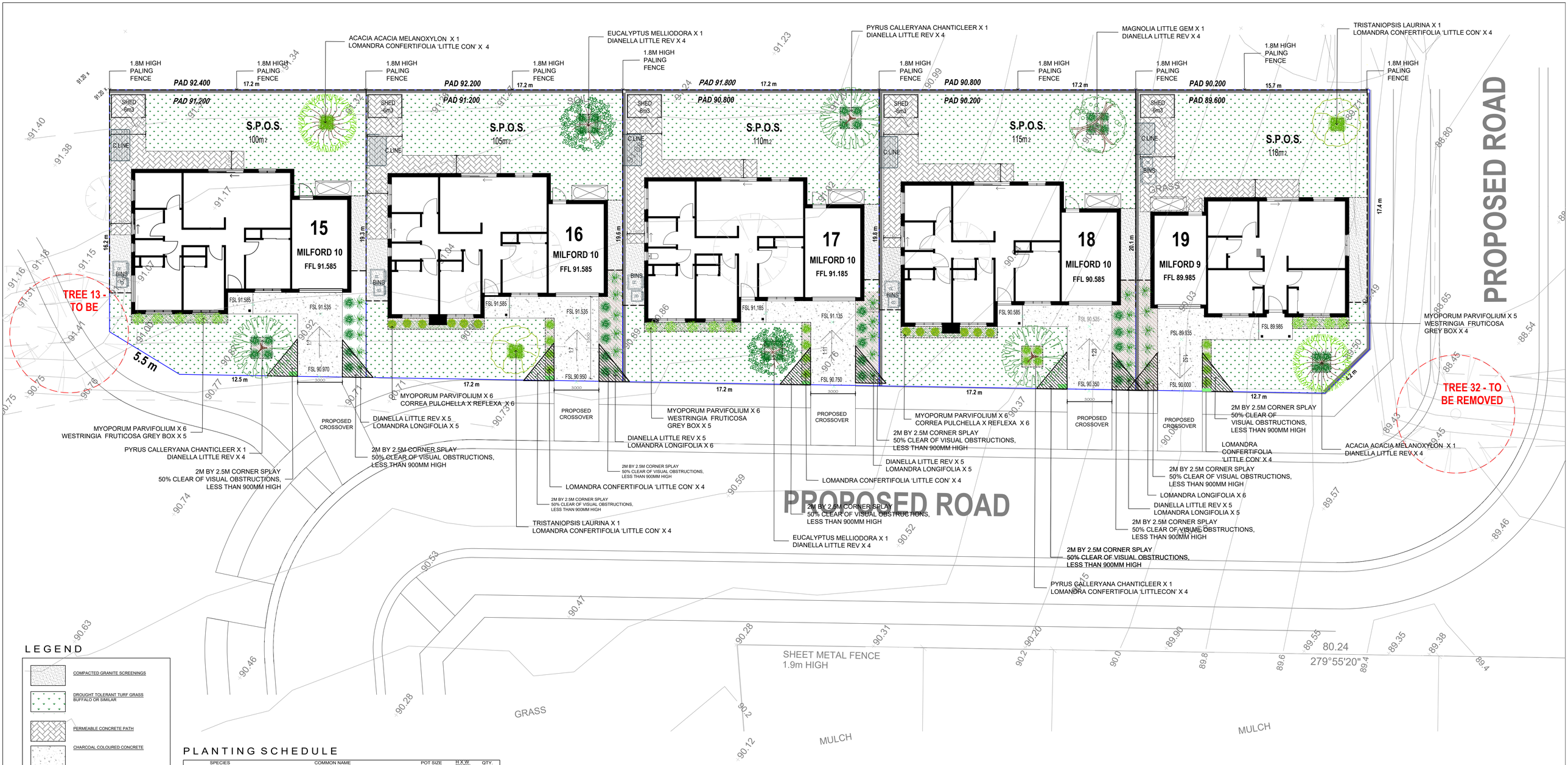
LANDSCAPE PLAN

HOUSE 11 - 14

2 TOBRUK STREET - MORWELL - VIC

EVERYONE
A DIVISION OF METRICON

REVISION: V3
SCALE: 1:125 @ A1
PAGE NO.: 5
DATE: 12/01/2024



LEGEND

- COMPACTED GRANITE SCREENINGS
- DROUGHT TOLERANT TURF GRASS BUFFALO OR SIMILAR
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- CHARCOAL COLOURED CONCRETE
- MULCHED GARDEN BED MULCH: 'DYED-BLACK' FINE PINE BARK (MIN. 80MM DEEP) TOPSOIL: 'SANDY LOAM (MIN. 250MM DEEP)
- PALING FENCE 1.8M UNLESS STATED OTHER WISE
- GARDEN EDGING 75 x 25mm TREATED PINE EDGING
- RUBBISH BINS
- CLOTHES LINE
- RETAINING WALL
- 900MM HIGH MAX . LETTER BOX
- TREES REMOVED AS PER ARBORIST REPORT
- WATER TANK FOR IRRIGATION

PLANTING SCHEDULE

	SPECIES	COMMON NAME	POT SIZE	H X W (MATURITY)	QTY.
	WESTRINGIA FRUTICOSA GREY BOX	COASTAL ROSEMARY	14CM	1.0X 1.0M	15
	DIANELLA LITTLE REV	BLACK-ATHER FLAX-LILY	14CM	0.6X0.6M	44
	CORREA PULCHELLA X REFLEXA	CORREA 'DUSKY BELLS'	14CM	0.6 X 2M	12
	LOMANDRA CONFERTIFOLIA 'LITTLE CON'	LOMANDRA 'LITTLE CON'	14CM	0.6 X 0.6M	24
	TRISTANIOPSIS LAURINA	KANOOKA GUM	40CM (2.0M TALL WHEN PLANTED)	12-15 X 4-6M	2
	EUCALYPTUS MELLIODORA	YELLOW BOX	40CM (2.0M TALL WHEN PLANTED)	10-15 X 8-10M	2
	LOMANDRA LONGIFOLIA	SPINY HEADED MAT RUSH	14CM	1.2-1 X 1.0M	27
	MYOPORUM PARVIFOLIUM	CREEPING BOOBIALLA	14CM	0.15 X 1.0M	29
	MAGNOLIA GRANDIFLORA LITTLE GEM	DWARF MAGNOLIA	40CM (2.0M TALL WHEN PLANTED)	5 X 2.5M	2
	PYRUS CALLERYANA CHANTICLEER	BRADFORD PEAR	40CM (2.0M TALL WHEN PLANTED)	11 X 6M	2
	ACACIA MELANOXYLON	BLACKWOOD WATTLE	40CM (2.0M TALL WHEN PLANTED)	12-15 X 5M	3

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LANDSCAPE CONSTRUCTION SPECIFICATIONS

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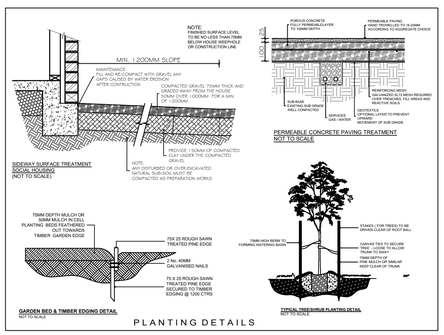

PLANTING DETAILS

MACA DESIGN CO.

LANDSCAPE PLAN

HOUSE 15 - 19

2 TOBRUK STREET -MORWELL - VIC

EVERYONE
A DIVISION OF METRICON

REVISION: V3
SCALE: 1:125 @ A1
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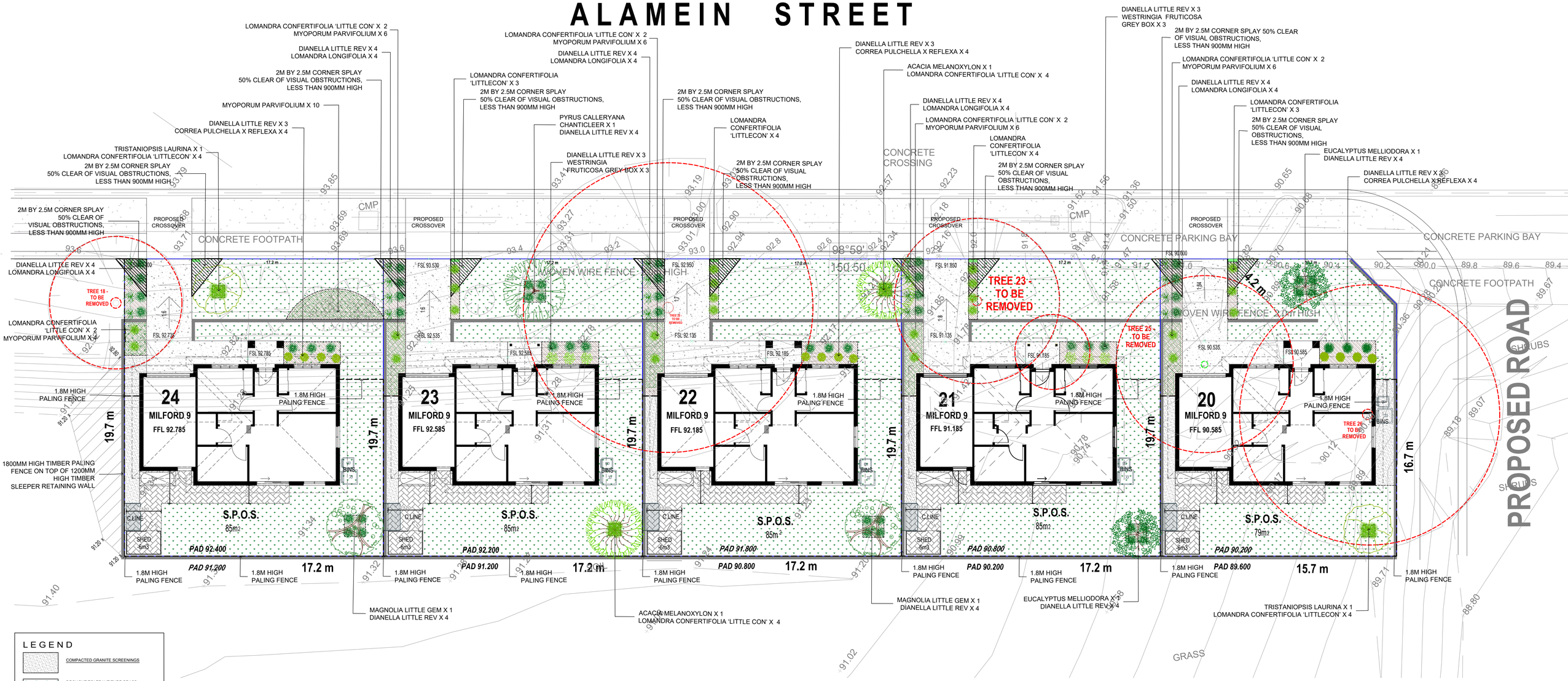
DATE: 12/01/2024

ALAMEIN STREET



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PLANTING SCHEDULE

	SPECIES	COMMON NAME	POT SIZE	H X W (MATURITY)	QTY.
	WESTRINGIA FRUTICOSA GREY BOX	COASTAL ROSEMARY	14CM	1.0X 1.0M	6
	DIANELLA LITTLE REV	BLACK-ATHER FLAX-LILY	14CM	0.6X0.6M	55
	CORREA PULCHELLA X REFLEXA	CORREA 'DUSKY BELLS'	14CM	0.6 X 2M	12
	LOMANDRA CONFERTIFOLIA 'LITTLE CON'	LOMANDRA 'LITTLE CON'	14CM	0.6 X 0.6M	18
	TRISTANIOPSIS LAURINA	KANOOKA GUM	40CM (2.0M TALL WHEN PLANTED)	12-15 X 4-6M	2
	EUCALYPTUS MELLIODORA	YELLOW BOX	40CM (2.0M TALL WHEN PLANTED)	10-15 X 8-10M	2
	LOMANDRA LONGIFOLIA	SPINY HEADED MAT RUSH	14CM	1.2-1 X 1.0M	20
	MYOPORUM PARVIFOLIUM	CREEPING BOOBIALLA	14CM	0.15 X 1.0M	38
	MAGNOLIA GRANDIFLORA LITTLE GEM	DWARF MAGNOLIA	40CM (2.0M TALL WHEN PLANTED)	5 X 2.5M	2
	PYRUS CALLERYANA CHANTICLEER	BRADFORD PEAR	40CM (2.0M TALL WHEN PLANTED)	11 X 6M	2
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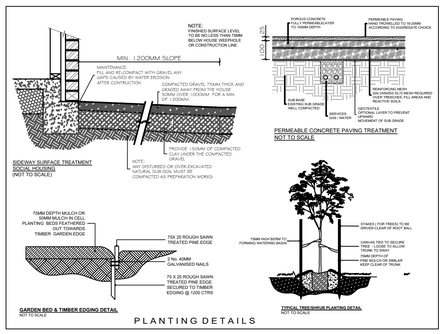

MACA DESIGN CO.

LANDSCAPE PLAN
HOUSE 20 - 24
2 TOBRUK STREET -MORWELL - VIC

EVERYONE
A DIVISION OF METRICON

REVISION: V3
SCALE: 1:125 @ A1
PAGE NO.: 7
DATE: 12/01/2024

Document Set ID: 2641236
Version: 1, Version Date: 15/05/2024

LEGEND

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	CORREA PULCHELLA X REFLEXA	CORREA 'DUSKY BELLS'	14CM	0.6 X 2M	4
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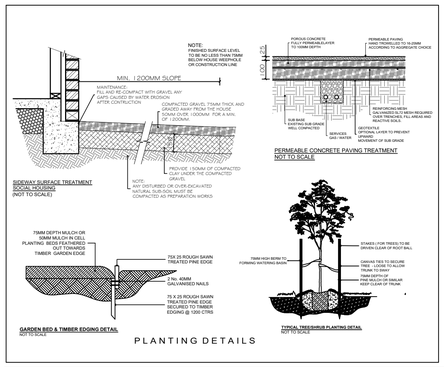
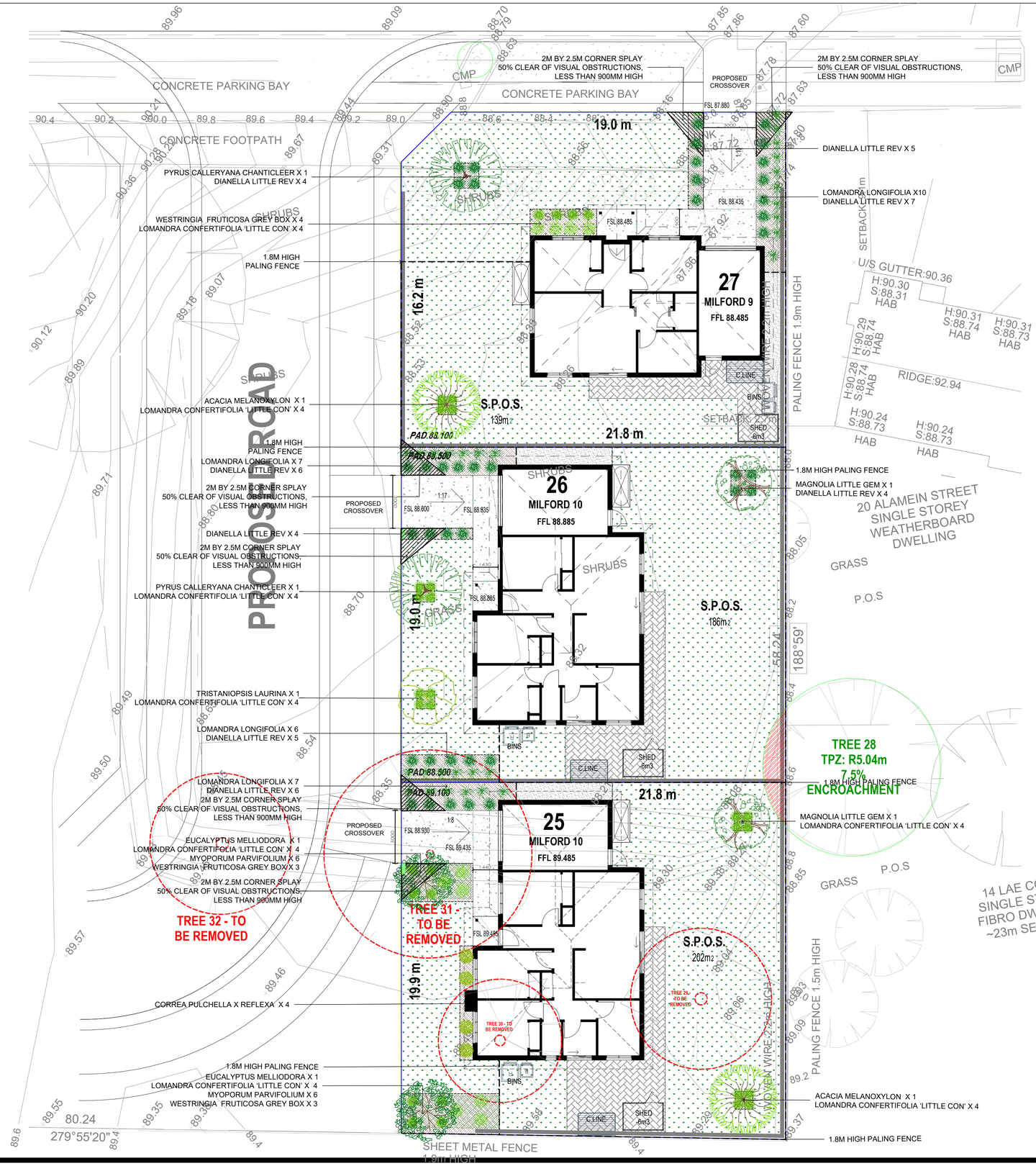


PLANTING DETAILS



MACA DESIGN CO.

LANDSCAPE PLAN
HOUSE 25 - 27

2 TOBRUK STREET -MORWELL - VIC

REVISION: V3
SCALE: 1:125 @ A1
PAGE NO.: 8
DATE: 12/01/2024

LEGEND

- COMPACTED GRANITE SCREENINGS
- DROUGHT TOLERANT TURF GRASS BUFFALO OR SIMILAR
- CONCRETE PATH
- MULCHED GARDEN BED MULCH: 'DYED-BLACK' FINE PINE BARK (MIN. 80MM DEEP) TOPSOIL: 'SANDY LOAM (MIN. 250MM DEEP)
- PALING FENCE 1.8M UNLESS STATED OTHER WISE
- GARDEN EDGING 75 x 25mm TREATED PINE EDGING
- EXISTING TREES REFER TO ARBORIST REPORT
- PARK BENCH
- TREES REMOVED AS PER ARBORIST REPORT

PARK SEATING

NOTE
NEW NATURE STRIP STREET PLANTINGS MUST BE MINIMUM 45L CONTAINER STAKED WITH 2 HARDWOOD STAKES.

ALL STREET TREES MUST BE PLANTED AND MAINTAINED FOR A 2 YEAR PERIOD.

NORTH

PLANTING SCHEDULE

	SPECIES	COMMON NAME	POT SIZE	H X W (MATURITY)	QTY.
	WESTRINGIA FRUTICOSA GREY BOX	COASTAL ROSEMARY	14CM	1.0X 1.0M	11
	DIANELLA LITTLE REV	BLACK-ATHER FLAX-LILY	14CM	0.6X0.6M	54
	CORREA PULCHELLA X REFLEXA	CORREA 'DUSKY BELLS'	14CM	0.6 X 2M	14
	DIETES GRANDIFLORA	WILD IRIS	14CM	0.6 X 0.6M	8
	TRISTANIOPSIS LAURINA	KANOOKA GUM	40L (CUM. TAG WHEN PLANTED)	12-15 X 4-6M	5
	EUCALYPTUS MELLIODORA	YELLOW BOX	40L (CUM. TAG WHEN PLANTED)	10-15 X 8-10M	7
	LOMANDRA LONGIFOLIA	SPINY HEADED MAT RUSH	14CM	1.2-1 X 1.0M	17
	MYOPORUM PARVIFOLIUM	CREEPING BOOBIALLA	14CM	0.15 X 1.0M	40
	PYRUS CALLERYANA CHANTICLEER	BRADFORD PEAR	40CM (CUM. TAG WHEN PLANTED)	11 X 6M	2
	ROSMARINUS OFFICINALIS PROSTRATA	CREEPING ROSEMARY	14CM	0.3 X 1.0M	52
	ACACIA MELANOXYLON	BLACKWOOD WATTLE	40CM (CUM. TAG WHEN PLANTED)	12-15 X 5M	2

LANDSCAPE CONSTRUCTION SPECIFICATIONS

SUBGRADE PREPARATION:
SITE PREPARATION TO BE CARRIED OUT UNDER SUITABLE CONDITIONS AN IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE. THE USE OF MACHINERY AN TOOLS THAT MAY DAMAGE SOIL STRUCTURE IS NOT ACCEPTABLE.
GARDEN BED AND LAWN SUB-GRADE IS CULTIVATED TO A DEPTH OF 150MM AN SHAPED TO ACHIEVE DRAINAGE FALL PRIOR TO ADDING TOPSOIL . IF GYPSUM IS REQUIRED, THIS IS TO BE DISTRIBUTED AND CULTIVATED INTO THE SUB-GRADE AS PER THE MANUFACTURER'S INSTRUCTIONS.
WEEDS ARE TO BE REMOVED PRIOR TO SUB-GRADE PREPARATION, TOP-SOILING AN PLANTING.

SOIL PREPARATION:
IMPORTED TOPSOIL IS TO BE SUPPLIED BY AN APPROVED SUPPLIER TO A DEPTH OF APPROXIMATELY 100MM (AS REQUIRED) FOR GARDEN BEDS. DO NOT SPREAD IN MUDDY CONDITIONS. THE TOPSOIL IS TO BE LIGHT TO MEDIUM FRIABLE LOAM (CAPABLE OF BEING COMPRESSED INTO A BALL BY HAND WHEN MOIST YET CAN BE BROKEN APART IMMEDIATELY AFTER) ITS PH WILL BE 6.0 - 7.0 AN FREE FROM PERENNIAL WEEDS AN BUILDING RUBBLE. THE FINISHED TOP LEVEL AFTER SETTLEMENT SHOULD BE 75MM BELOW THE EDGING LEVEL TO ALLOW FOR MULCH. IMPORTED TOPSOIL FOR LAWN AREAS TO BE SUPPLIED TO A DEPTH OF APPROXIMATELY 100MM (OR AS REQUIRED).

TIMBER EDGING:
TIMBER EDGING TO BE INSTALLED TO SEPARATE ALL LAWN, PLANTING AREAS AN LILYDALE 'TOPPING/PEBBLE AREAS. THE TREATED PINE TIMBER IS TO BE 75MM X 25MM IN SIZE, SECURED WITH 300MM LONG STAKES AT 1000MM SPACINGS.

PLANTS AN PLANTING:
TREES AN PLANTS SUPPLIED ARE TO BE HEALTHY AN FREE FROM INSECTS, DISEASES AN WEEDS. THE POT SIZE INDICATED IN THE PLANT SCHEDULE ARE THE MINIMUM SIZE TO BE SUPPLIED AN INSTALLED .
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A SLOW RELEASE FERTILISER (E.G. OSMOCOTE OR SIMILAR) IS TO BE APPLIED TO ALL GARDEN BEDS AS SPECIFIED BY THE MANUFACTURER AN BE KEPT AWAY FROM THE PLANT TRUNKS AN THEN WATERE IMMEDIATELY . A LAYER OF AGED ORGANIC MULCH TO A MINIMUM DEPTH OF 75MM IS TO BE APPLIED TO ALL PLANTING AREAS AFTER PLANTING IS COMPLETED

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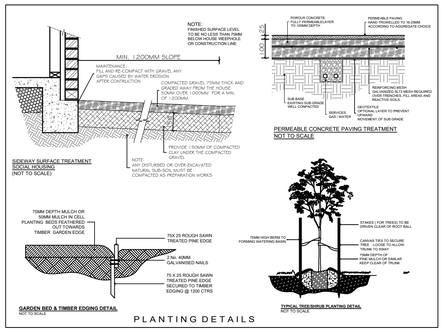

PLANTING DETAILS

NOTES

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- ALL LANDSCAPING SHOWN IS CONCEPTUAL AND INDICATIVE ONLY.
- 6 CUBIC METERS OF STORAGE IS PROVIDED WITHIN GARDEN SHED UNLESS OTHERWISE NOTED.
- UNLESS SPECIFIED OTHERWISE, ALL STEP TREADS ARE TO BE 320 - 350MM DEEP. STEP RISERS TO BE MAXIMUM 180MM HIGH.

MACA DESIGN CO.

LANDSCAPE PLAN
PARKLAND 1
2 TOBRUK STREET - MORWELL - VIC

EVERYONE
A DIVISION OF METRICON

REVISION: V3A
SCALE: 1:125 @ A1
PAGE NO.: 9
DATE: 15/01/2024

LEGEND

- DROUGHT TOLERANT TURF GRASS
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- CONCRETE PATH
- MULCHED GARDEN BED
  MULCH: 'DYED-BLACK' FINE PINE BARK (MIN. 80MM DEEP)
  TOPSOIL: 'SANDY LOAM (MIN. 250MM DEEP)
- PALING FENCE
  1.8M UNLESS STATED OTHER WISE
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	DIETES GRANDIFLORA	WILD IRIS	14CM	0.6 X 0.6M	11
	TRISTANIOPSIS LAURINA	KANOOKA GUM	40L (2.0M TALL WHEN PLANTED)	12-15 X 4-6M	2
	EUCALYPTUS MELLIODORA	YELLOW BOX	40L (2.0M TALL WHEN PLANTED)	10-15 X 8-10M	3
	LOMANDRA LONGIFOLIA	SPINY HEADED MAT RUSH	14CM	1.2-1 X 1.0M	20
	ROSMARINUS OFFICINALIS PROSTRATA	CREEPING ROSEMARY	14CM	0.3 X 1.0M	10
	ACACIA MELANOXYLON	BLACKWOOD WATTLE	40CM (2.0M TALL WHEN PLANTED)	12-15 X 5M	1

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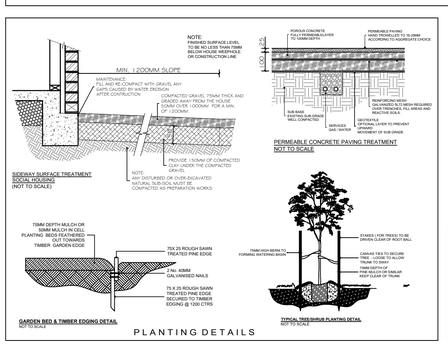

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MACA DESIGN CO.

LANDSCAPE PLAN
PARK LAND 2
2 TOBRUK STREET -MORWELL - VIC

EVERYONE
A DIVISION OF METRICON

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DATE: 12/01/2024

WATER TECHNOLOGY
WATER, COASTAL & ENVIRONMENTAL CONSULTANTS

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WATER TECHNOLOGY
WATER, COASTAL & ENVIRONMENTAL CONSULTANTS

Document Status

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Project Details

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Client	[illegible]
Client Project Manager	[illegible]
Water Technology Project Manager	[illegible]
Water Technology Project Director	[illegible]
Authors	[illegible]
Document Number	2[illegible]010[illegible]4[illegible]R01[illegible]0[illegible]

WATER TECHNOLOGY
WATER, COASTAL & ENVIRONMENTAL CONSULTANTS

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2 SITE DESCRIPTION

The site is located at 2 Tobruk Street, Morwell and is approximately 1.1 km north of the Morwell CBD. The site is bounded by Tobruk Street to the west, Churchill Road to the south, Lae Court to the east and Alamein Street to the north. The site is currently occupied by a single residential dwelling and associated outbuildings. The site is relatively flat with a gentle slope towards the south-west corner. The site has an area of approximately 1,000 m² and is zoned General Residential Zone – Schedule 1 (GRZ1) under the Latrobe Planning Scheme.

The surrounding land use is predominantly residential, with a mix of single-storey and double-storey dwellings. To the north of the site is Alamein Street, beyond which is a residential area. To the east of the site is Lae Court, beyond which is a residential area. To the south of the site is Churchill Road, beyond which is a residential area and the Morwell River. To the west of the site is Tobruk Street, beyond which is a residential area and Morwell Recreation Reserve. The site is located approximately 1.4 km south-west of the Morwell East Primary School and approximately 2.4 km south-west of the Morwell Central Business District.

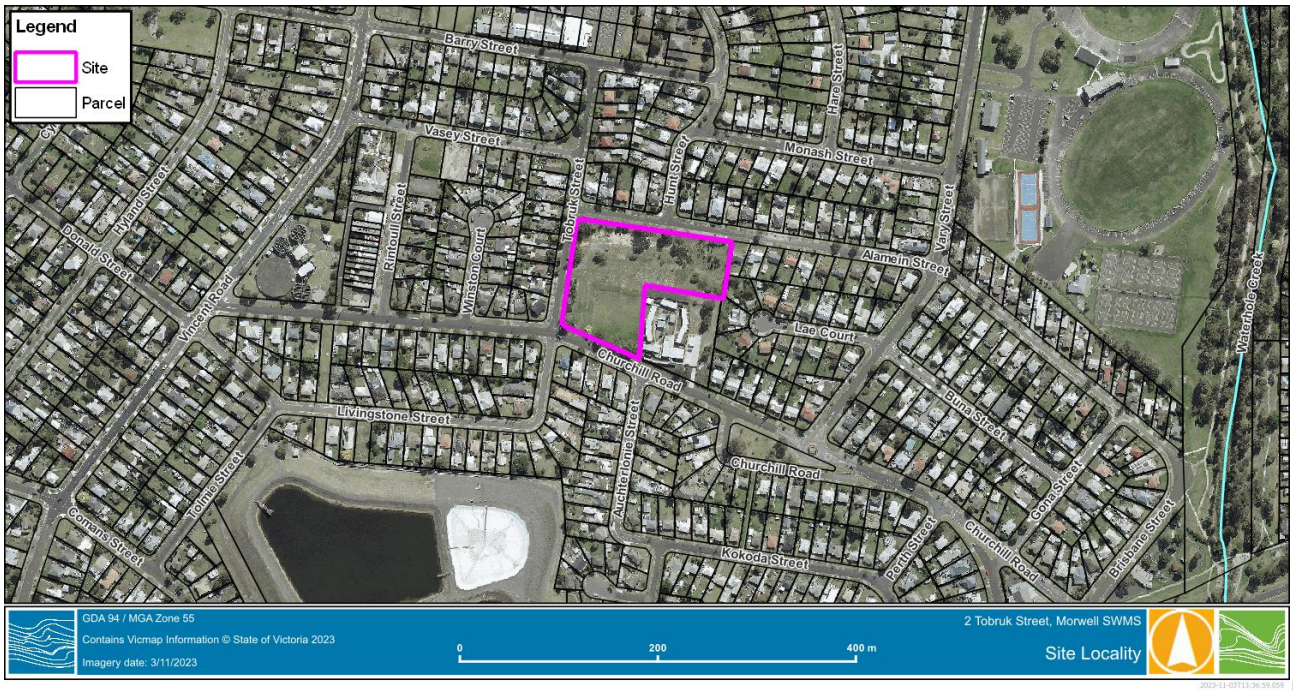

Figure 2-1 Site Locality

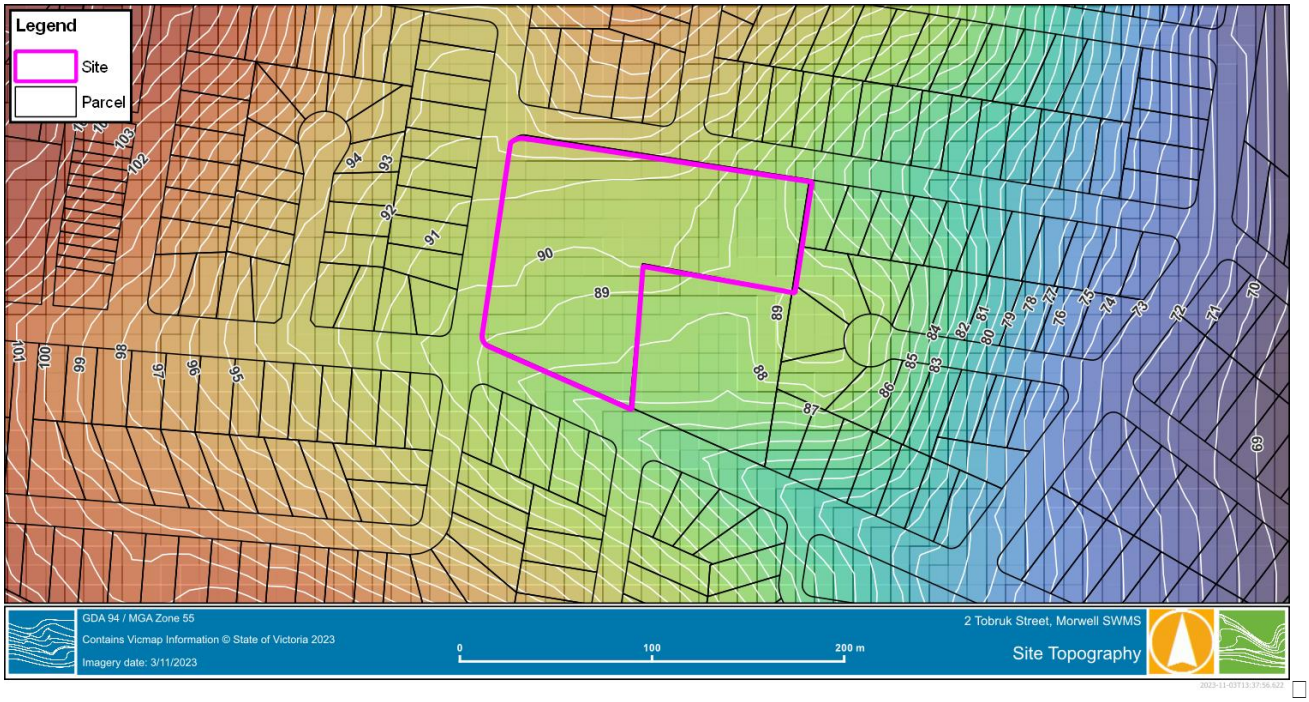

Figure 2-2 Site Topography

[illegible]

Figure 2-3 Site Land Use Change (2016 & Current)

2.1 Introduction

This report has been prepared to support the application for a Development Consent Order (DCO) for the Proposed Development. The Proposed Development is described in Chapter 2 of the ES and comprises the construction, operation and decommissioning of a Ground Mounted Solar Photovoltaic Array and Battery Energy Storage System (BESS) with a capacity of up to 49.9 megawatts (MW) and associated infrastructure.

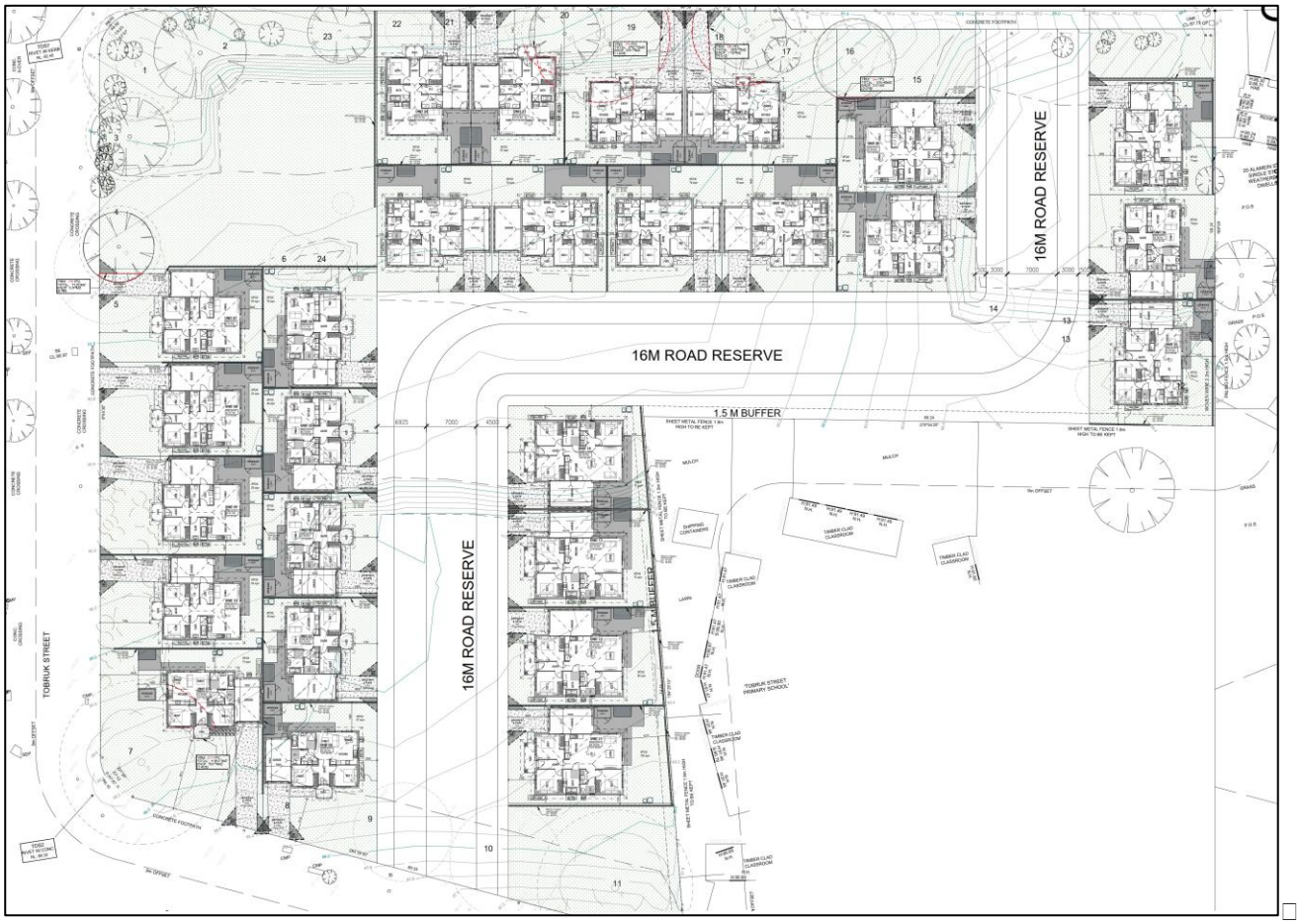

Figure 2-4 Development Layout Plan

[illegible]

3.2 Proposed Drainage Connection

The proposed drainage connection for the development is shown in Figure 3-1. The proposed development will discharge stormwater runoff to the existing drainage network in Tobruk Street. The proposed drainage connection will be designed to accommodate the 10% AEP storm event. The proposed drainage connection will be designed to accommodate the 1% AEP storm event. The proposed drainage connection will be designed to accommodate the 1% AEP storm event. The proposed drainage connection will be designed to accommodate the 1% AEP storm event. As outlined by Latrobe City Council's preliminary planning advice, the site's stormwater runoff will be discharged to the existing drainage network in Tobruk Street.

Figure 3-1 Proposed Drainage Connection

3.2.1 Stormwater Quality Treatment

The proposed development will be designed to meet the stormwater quality treatment requirements of Latrobe City Council. The proposed development will be designed to meet the stormwater quality treatment requirements of the Environmental Protection Act 1970. The proposed development will be designed to meet the stormwater quality treatment requirements of the Environmental Protection Act 1970.

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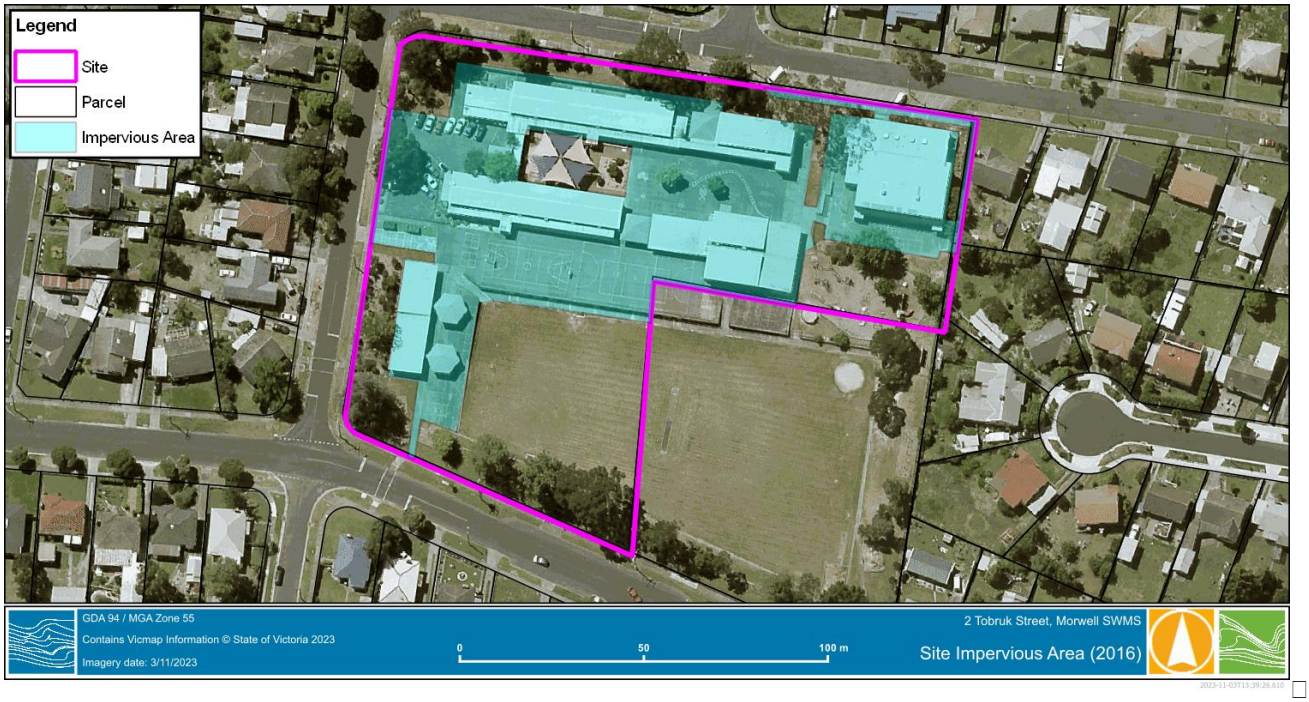

Figure 3-2 Site Impervious Area (2016)

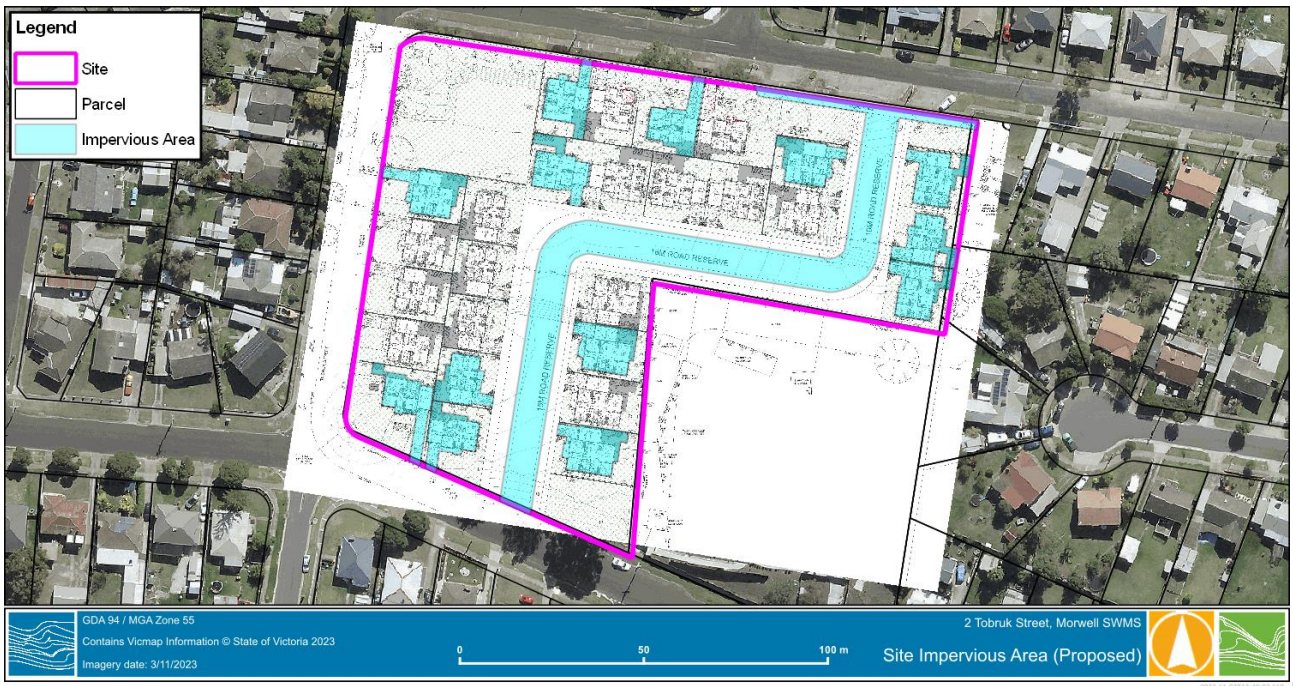

Figure 3-3 Site Impervious Area (Proposed)

Table 3-1 1% AEP Pre- and Post-development Flows

Scenario	f_i (Fraction Imperviousness)	1% AEP Flow
[illegible]	0[illegible]	0.4[illegible]
R[illegible]	0.4[illegible]	0.41[illegible]

[illegible]

3.1.1 Drainage Capacity Check

[illegible]

Figure 3-4 DRAINS Model Layout

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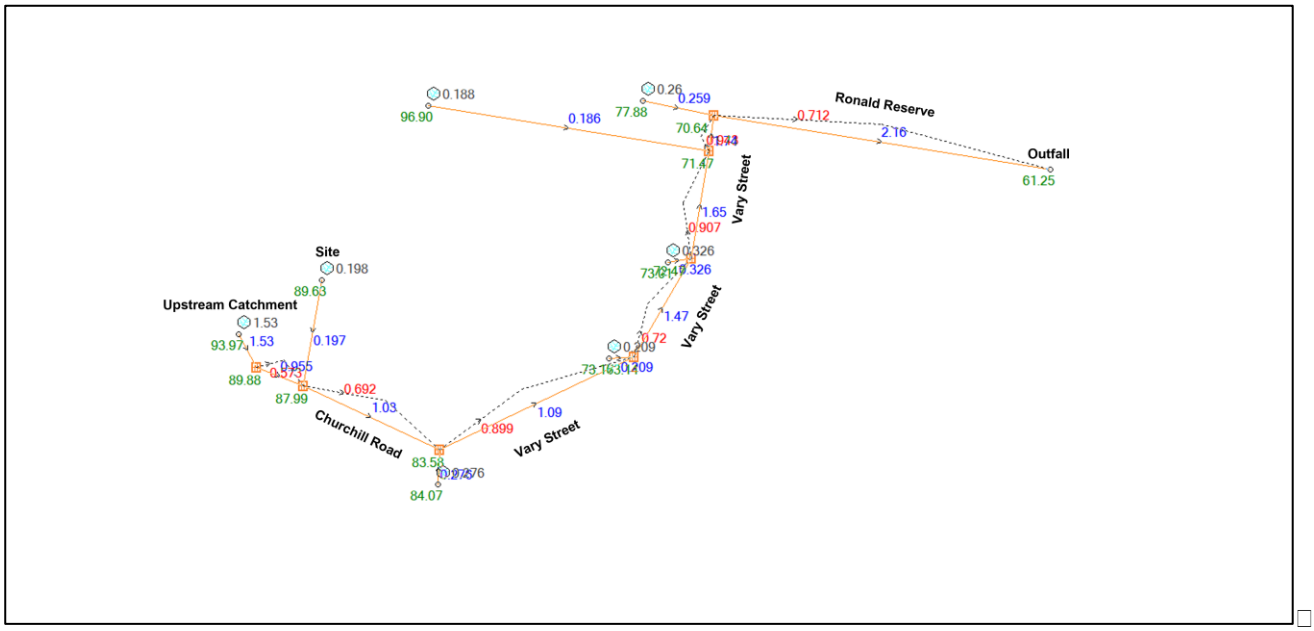

Figure 3-5 DRAINS Model Results (Pre-development)

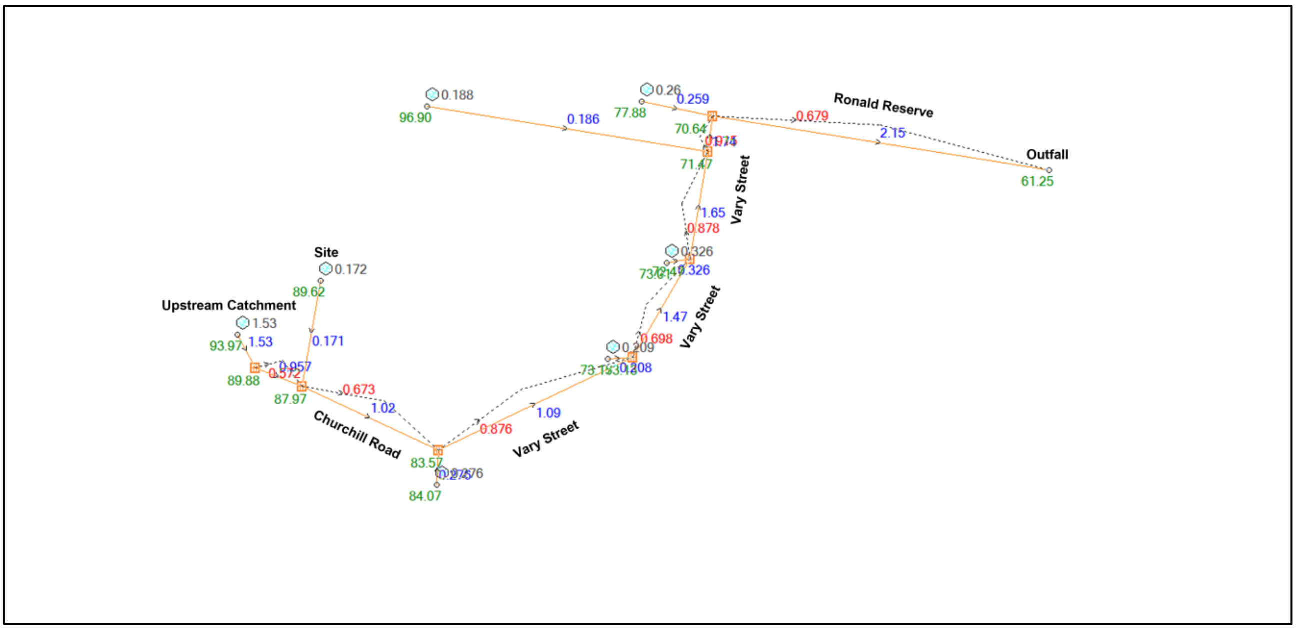

Figure 3-6 DRAINS Model Results (Post-development)

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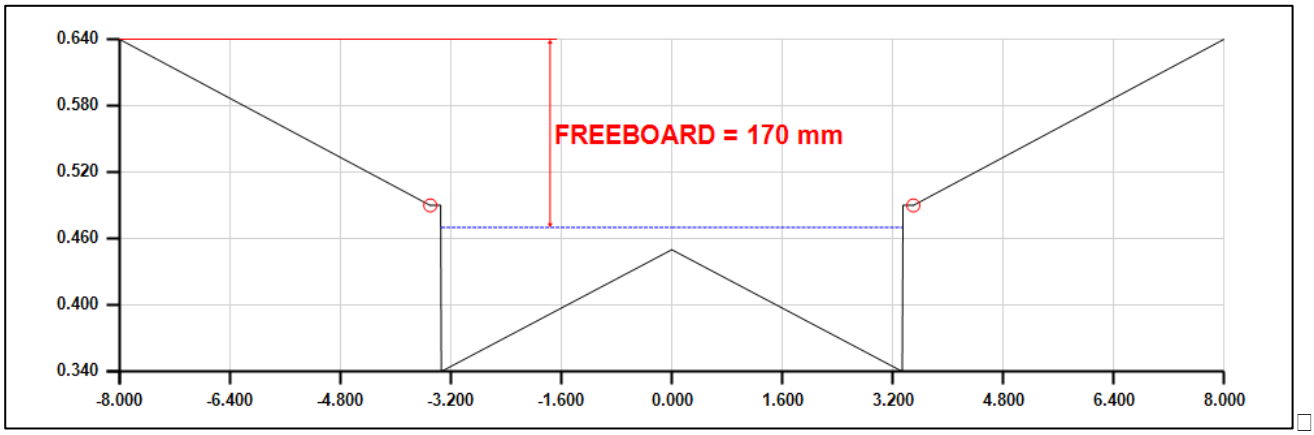

Figure 3-7 PC-Convey Assessment Result

4 SUMMARY

Gap flows present at the site during a runoff event will need to be contained by the development's internal road

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2-14 Tobruk Street, Morwell

Waste Management Plan

220653WMP002A-F.docx

15 January 2024

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Prepared by	VPG	**Reviewed by**	JS

one*mile****grid*** *operates from Wurundjeri Woiworung Country of the Kulin nation. We acknowledge and extend our appreciation to the Wurundjeri People, the Traditional Owners of the land. We pay our respects to leaders and Elders past, present and emerging for they hold the memories, the traditions, the culture, and the hopes of all Wurundjeri Peoples.*

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1 INTRODUCTION

onemile**grid** has been requested by Metricon Homes to undertake a Transport Impact Assessment of the proposed community housing development at 2-14 Tobruk Street, Morwell.

As part of this assessment the subject site has been inspected with due consideration of the development proposal, traffic and parking data has been sourced, and relevant background information has been reviewed.

2 EXISTING SITE CONDITIONS

The subject site is located at 2-14 Tobruk Street, Morwell and is bounded by Alamein Street, Tobruk Street and Churchill Road, as shown in Figure 1.

Figure 1 Site Location

Copyright Nearmap

3 DEVELOPMENT PROPOSAL

3.1 General

It is proposed to develop the subject site for the purposes of a residential subdivision to allow development of the site for community housing dwellings, as shown in Table 1.

Table 1 Proposed Development

Component	No/Area
2-Bedroom Dwelling	17
3-Bedroom Dwelling	10
Total Houses	**27**

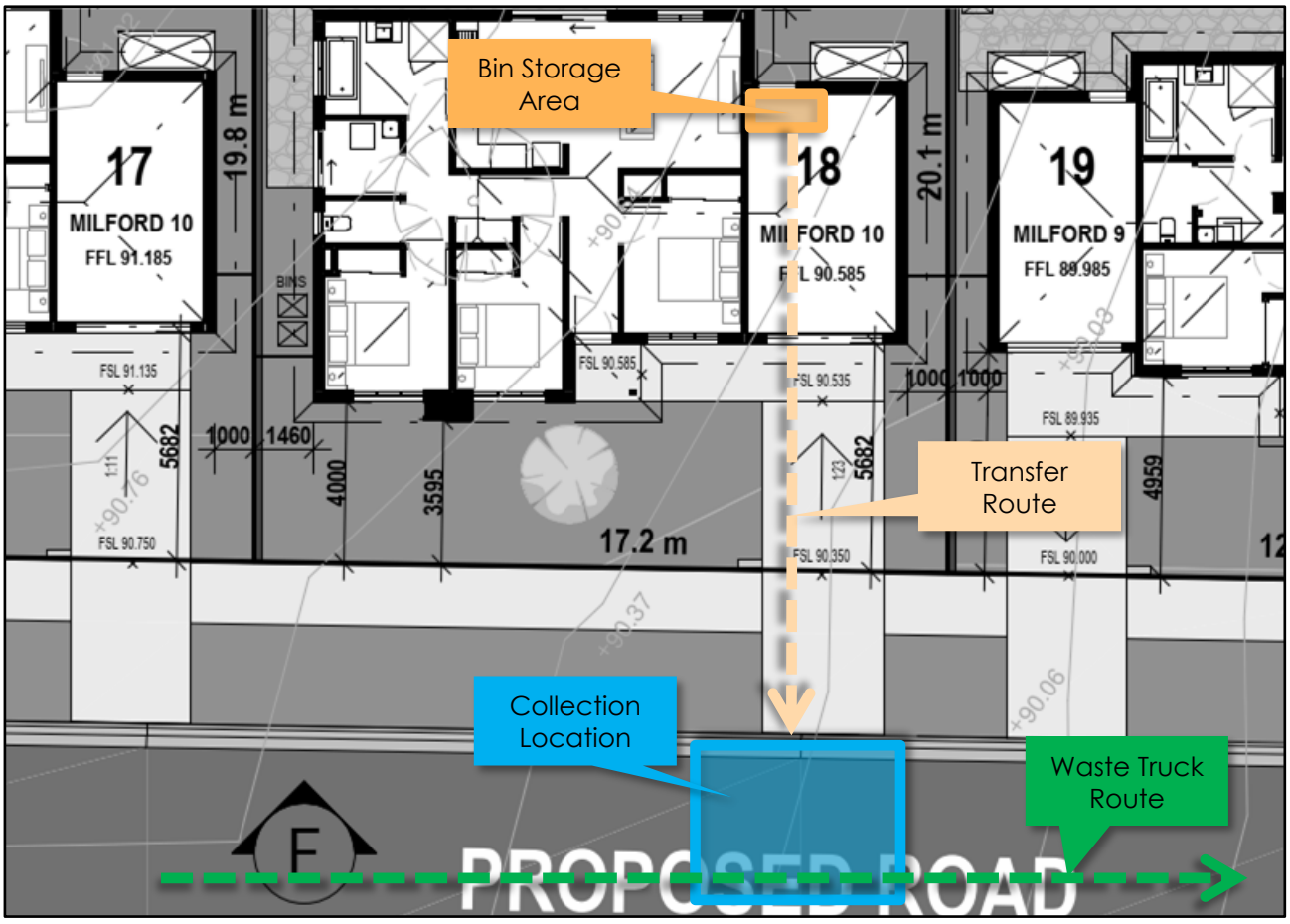
3.2 Waste Management

It is proposed to utilise Latrobe Council's municipal waste collection services to manage the collection and disposal of all waste streams associated with the development.

Bins will be stored within each dwelling, likely in the respective garages and then wheeled out to the kerbside on collection days.

An example collection location and expected transfer route is shown in Figure 2.

Figure 2 Example Bin Storage Room and Collection Details



4 WASTE GENERATION

4.1 Sustainability Victoria Recommended Rates

Waste generation rates published within Sustainability Victoria's "Better Practice Guide for Waste Management and Recycling in Multi-unit Developments" suggest the following rates for multi-unit developments:

Table 2 Sustainability Victoria Recommended Weekly Rates – Residential

Dwelling Size	*Garbage*	*Recycling and Paper*
Individual dwelling	120 L	240 L

4.2 Adopted Council Rates

The standard minimum compulsory kerbside bins within the Latrobe City Council are 1 x 120 litre garbage bin, 1 x 240 litres recycling bin and 1 x 240 litre green waste bin.

4.3 Expected Waste Generation

4.3.1 Garbage and Recycling

It is proposed to provide garbage, organic and recycling bins in accordance with Council standard bin provision.

Based on Sustainability Victoria and Latrobe City Councill's adopted waste generation rates, the following weekly waste generation is expected per dwelling.

Table 3 Expected Waste Generation Per Dwelling

Component – Stream	*Total Waste/Week*
Garbage	120 L
Recycling	120 L
Green Waste	120 L

4.3.2 Green Waste

Latrobe City Council requires the use of a green waste bin. Ample area is available within the garage or open space areas of each dwelling for the storage of a green waste bin. In relation to collection, green waste will be collected fortnightly, on opposite weeks to the recycling collection, therefore the collection of green waste can occur in a similar manner to the recycling collection, utilising the proposed collection points.

4.3.3 Hard Waste

Hard waste will be collected from kerbside in accordance with Council standard requirements. Latrobe City Council has a yearly kerbside hard waste collection service for Morwell.

Additional to the above, hard waste may be disposed of independently by residents, at Council's Recycling Centre/Transfer Station.

4.3.4 Soft Plastics

Soft plastic waste is estimated to contribute approximately 20% of landfill waste volumes, and includes such things as bread bags, plastic bags, bubble wrap and snap lock bags.

Previously, soft plastics were able to be recycled via REDcycle bins located at most Coles and Woolworths supermarkets. However, REDcycle have since paused the recycling of soft plastic due to supplier/storage issues, therefore soft plastic should be disposed of using the garbage bins.

4.3.5 Electronic Waste (E-Waste)

E-waste includes all manner of electronic waste, such as televisions, computers, cameras, phones, household electronic equipment, batteries and light bulbs. E-waste contains valuable materials that can be recovered and reused such as tin, nickel, zinc, aluminium, copper, silver and gold.

On 1st July 2019, the disposal of E-waste to landfill was banned by the Victorian Government.

A large number of e-waste collection points are available in Victoria and private contractors are equipped with the resources to undertake E-waste collections.

Council does not provide a residential kerbside pick-up service for E-waste, therefore E-waste must be taken by residents to the appropriate collection centre, as described below:

- Planet Ark operate a number of e-waste recycling drop-off locations throughout Victoria (https://recyclingnearyou.com.au/electrical);
- Officeworks stores accept small amounts of personal E-waste;
- Aldi stores accept batteries; and
- Some Bunnings stores accept batteries.

Additional recycling locations are provided at https://recyclingnearyou.com.au/

5 BIN REQUIREMENTS

5.1 Bin Provision and Specifications

It is proposed to utilise Council's municipal waste collection for all waste services for the proposed development. Latrobe City Council offers a 120 litre garbage bin, a 240 litre green waste bin and a 240 litre recycling bin for each dwelling.

Latrobe City Council collects garbage bins weekly while recycling and green waste bins are collected fortnightly on alternating weeks.

Consequently, the following bins will be required for each dwelling of the proposed development.

Table 4 Individual Dwelling Bin Provision

Component – Stream	*Total Waste/Week*	*Bin Size*	*Collection Frequency*	*Bins Required*
Garbage	120 L	120 L	Weekly	1 bin
Recycling	120 L	240 L	Fortnightly	1 bin
Green Waste	120 L	240 L	Fortnightly	1 bin
Total				**3 bins**

[*] *The total bin capacity is slightly less than the expected generation, and may require some minor compaction of waste*

The typical bin specifications for each bin size are provided in Table 5 below.

Table 5 Bin Specifications

Stream	*Capacity*	*Width*	*Depth*	*Height*	*Area*	*Colour*
Garbage	120 litres	0.50m	0.55m	0.95m	0.28m²	Red lid and dark green body
Recycling	240 litres	0.60m	0.75m	1.10m	0.45m²	Yellow lid and dark green body
Green Waste	240 litres	0.60m	0.75m	1.10m	0.45m²	Light green lid and dark green body

5.2 Bin Storage

Each dwelling will store their garbage, recycling and green waste bin either in their garage or outdoor space.

With only a small number of bins in each garage and ventilation of the garages and car parking areas, the proposed storage of waste bins within a garage is considered to be appropriate, and not uncommon for residential waste.

5.3 Bin Collection

To allow for collection, bins will be transported to one of Alamein Street, Tobruk Street, Churchill Road or the internal road frontages and positioned kerbside for collection by Council.

5.4 Bin Cleaning

Residents are responsible for the maintenance and cleaning of their own bins.□

6 WASTE MANAGEMENT

6.1 Best Practice Waste Management

Best Practice Waste Management is an initiative designed to reduce the amount of waste generated through encouraging a change of behaviour and action on waste management and moreover recycling.

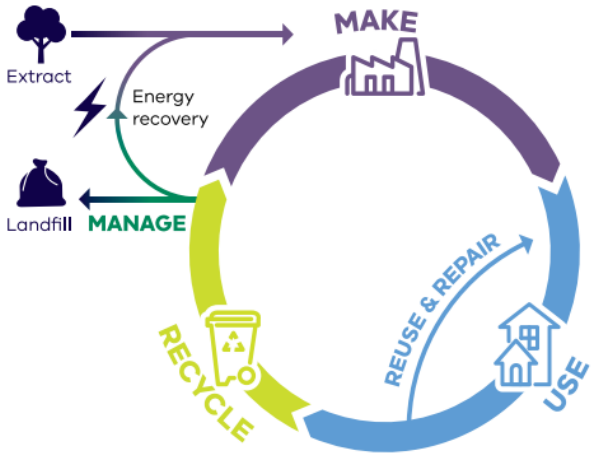
The benefits of reducing waste generation are far reaching and have been identified as significantly important by Council and the Victorian Government.

Recycling Victoria: A New Economy is a policy and 10-year action plan, prepared by the Victoria Government, to "deliver a cleaner, greener Victoria, with less waste and pollution, better recycling, more jobs and a stronger economy".

Four overarching goals have been identified in order to achieve a circular economy in relation to waste, as below:

1. MAKE – Design to last, repair and recycle;
2. USE – Use products to create more value;
3. RECYCLE – Recycle more resources;
4. MANAGE – Reduce harm from waste and pollution.

Figure 3 Resource Flows in a Circular Economy



6.2 Bin Usage

Residents will dispose of recyclables, green waste and bagged garbage in their individual bins, stored within each dwelling. Cardboard boxes should be flattened, and containers rinsed and cleaned prior to disposal in the provided bins.

6.3 Signage

To avoid contamination between garbage streams, bin lids will be colour coded in accordance with Council standards, to ensure the bin type is easily distinguishable. Furthermore, bins should include typical signage (preferably on the bin lid) to reinforce the appropriate materials to be deposited in each bin. Example signage is shown in Figure 4 below.

Figure 4 Example Waste Signage

6.4 Collection

Residents will be responsible for the transfer of their own bins to the Alamein Street, Tobruk Street, Churchill Road or internal road street frontages for collection.

7 CONTACT INFORMATION

7.1 Council

Latrobe City Council

Phone: 1300 367 700 (Customer Service)

Web: https://www.latrobe.vic.gov.au/

7.2 Others

Sustainability Victoria

Services: Sustainable Waste Management initiatives and information

Phone: 1300 363 744 (Energy, Waste and Recycling)

Web: www.sustainability.vic.gov.au

Email: info@sustainability.vic.gov.au